

**PUBLIC NOTICE AND AGENDA OF THE GROVELAND PLANNING & ZONING BOARD SCHEDULED TO CONVENE AT 6:00 P.M. THURSDAY MARCH 5, 2020 IN THE PURYEAR BUILDING AT 243 SOUTH LAKE AVENUE, GROVELAND, FL34736**

CHAIR	DOMINIC CICIO	<a href="mailto:dominic.cicio@groveland-fl.gov">dominic.cicio@groveland-fl.gov</a>
VICE CHAIR	RICHARD SKYZINSKI	<a href="mailto:richard.skyzinski@groveland-fl.gov">richard.skyzinski@groveland-fl.gov</a>
BOARD MEMBER	KEITH KEOGH	<a href="mailto:keith.keogh@groveland-fl.gov">keith.keogh@groveland-fl.gov</a>
BOARD MEMBER	ROBERT PROPER	<a href="mailto:robert.proper@groveland-fl.gov">robert.proper@groveland-fl.gov</a>
BOARD MEMBER	FELICIA STEWART	<a href="mailto:felicia.stewart@groveland-fl.gov">felicia.stewart@groveland-fl.gov</a>
BOARD MEMBER	MARTIN TAXSON	<a href="mailto:martin.taxson@groveland-fl.gov">martin.taxson@groveland-fl.gov</a>
BOARD MEMBER (Non-Voting)	DOUGLAS FAIVRE	<a href="mailto:douglas.favre@groveland-fl.gov">douglas.favre@groveland-fl.gov</a>
BOARD MEMBER	BILL MATHIAS	<a href="mailto:bill.mathias@groveland-fl.gov">bill.mathias@groveland-fl.gov</a>
STAFF DESIGNEE	TIM MASLOW	<a href="mailto:timothy.maslow@groveland-fl.gov">timothy.maslow@groveland-fl.gov</a>
SERGEANT-AT-ARMS	CHIEF SHAWN RAMSEY	<a href="mailto:shawn.ramsey@groveland-fl.gov">shawn.ramsey@groveland-fl.gov</a>
RECORDING SEC.	MARIA RAMIREZ	<a href="mailto:maria.ramirez@groveland-fl.gov">maria.ramirez@groveland-fl.gov</a>
CITY ATTORNEY	ANITA GERACI-CARVER, ESQ.	

**Please note:** Most written communication to or from government officials regarding government business are public records available to the public and media upon request. Your e-mail communications may therefore be subject to public disclosure.

**PLEDGE OF CONDUCT**

- **We may disagree, but we will be respectful of one another.**
- **We will direct all comments to issues.**
- **We will avoid personal attacks.**
- **Audience members wishing to speak must be recognized by the Chair.**
- **Speaking without being recognized will be considered “Out of Order.”**

**CALL TO ORDER**

**PLEDGE OF ALLEGIANCE**

**ROLL CALL**

**PRESENTATION**

**CONSENT AGENDA**

1. Approval of Minutes: January 16, 2020 & February 6, 2020 Planning & Zoning Minutes

## **NEW BUSINESS**

1. **Recommendation on Ordinance 2020-03: Trailer Hub LLC Annexation**

An Ordinance extending and increasing the corporate limits of the City of Groveland, County of Lake, State of Florida, pursuant to the voluntary annexation provisions of Section 171.044 and Section 171.204, Florida Statutes (2019); annexing 0.51 +/- acres of real properties not embraced within the present limits of the City of Groveland; providing for findings; providing a legal description and a map; directing the City Manager to record certified copies of this Ordinance after approval with the Clerk of the Circuit Court, the County Manager of Lake County, and the Secretary of the State of Florida; providing for conflicts and severability; providing for scrivener's errors; setting an effective date.

2. **Recommendation on Ordinance 2020-04: Trailer Hub LLC Comprehensive Plan Amendment**

An Ordinance of the City Council of the City of Groveland, Lake County, Florida, amending the City of Groveland's Comprehensive Plan pursuant to 163.3184, Florida Statutes, by amending the Future Land Use Plan designation from Lake County Industrial to City of Groveland Industrial on the Future Land Use Map for the herein described properties of 0.51 +/- acres; authorizing the City Manager to amend said Comprehensive Plan; repealing all ordinances in conflict herewith; providing for severability and scrivener's errors; providing for an effective date.

3. **Recommendation on Ordinance 2020-05: Trailer Hub LLC Rezoning**

An Ordinance of the City Council of the City of Groveland, County of Lake, State of Florida, to change the zoning from Lake County Industrial to City of Groveland M-1 Industrial District for the herein described properties within the City of Groveland, Florida, owned by Trailer Hub LLC, and located on the east side of Sampey Road; directing the City Manager to amend the zoning map as herein provided after the passage of this ordinance; providing for severability; repealing all ordinances in conflict herewith; providing for scrivener's errors and providing for an effective date.

4. **Recommendation on Ordinance 2020-06: V.J. Oleno Comprehensive Plan Amendment**

An Ordinance of the City Council of the City of Groveland, Lake County, Florida, amending the City of Groveland's Comprehensive Plan pursuant to 163.3184, Florida Statutes, by amending the Future Land Use Plan designation from Lake County Industrial to City of Groveland Industrial on the Future Land Use Map for the herein described properties of 2.49 +/- acres; authorizing the City Manager to amend said Comprehensive Plan; repealing all ordinances in conflict herewith; providing for severability and scrivener's errors; providing for an effective date.

5. **Recommendation on Ordinance 2020-07: V.J. Oleno Rezoning**

An Ordinance of the City Council of the City of Groveland, County of Lake, State of Florida, to change the zoning from Lake County Industrial to City of Groveland M-2 Heavy Industrial District for the herein described properties within the City of Groveland, Florida, owned by JCJ Family Partnership LTD and located on the west side of Independence Boulevard in the Christopher C. Ford Commerce Park; directing the City Manager to amend the zoning map as herein provided after the passage of this ordinance; providing for severability; repealing all ordinances in conflict herewith; providing for scrivener's errors and providing for an effective date.

**OLD BUSINESS**

1. **Recommendation on Ordinance 2019-55: Indigo Lakes PUD Amendment**

An Ordinance of the City Council of the City of Groveland, County of Lake, State of Florida, Amending Restating, and Replacing in its entirety Ordinance 2006-08-67, for the herein described property owned by Indigo Land Groveland LLC, and located at 17200 Villa City Road, Groveland, Lake County, Florida; directing the City Manager to amend the zoning map as herein provided after the passage of this Ordinance; providing for severability; repealing all Ordinances in conflict herewith; and providing for an effective date.

**PUBLIC COMMENTS**

**BOARD MEMBER DISCUSSION**

- PUD Sunset Clauses
- Future Land Use Update
- Arbor Day in the Park Event

**ADJOURNMENT**

\* Any person desiring to address the Planning & Zoning Board shall first secure the permission of the presiding officer and shall give his name and address for the record. All remarks shall be addressed to the Board as a body and not to any member thereof unless permission to do so is first granted by the presiding officer. Unless further time is granted by the presiding officer or the Board, members of the public shall limit their discussion or address to no more than five minutes. No questions shall be asked a Board member or City official except through the presiding officer. If your address is exempt from public record you are not required to state it. In addition, do not give out your Social Security Number, phone number, email address or any other information you do not want others to have access to as the meetings are recorded and those recordings are considered public record.

*\*Pursuant to the provisions of Chapter 286, F.S., Sec. 286.0105, if a person decides to appeal any decision made by this body with respect to any matter considered at this meeting, he or she will need a record of the proceedings, and that for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record may include the testimony and evidence upon which the appeal is to be based and is advised to make such arrangements at his or her own expense.*

*\*In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statute, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office no later than 5:00 pm. the day of the meeting.*

CONSENT AGENDA  
JANUARY 16, 2020  
&  
FEBRUARY 6, 2020  
P&Z MINUTES

**City of Groveland  
Revised Minutes  
Planning and Zoning Board Meeting  
Thursday, January 16, 2020**

The Groveland Planning and Zoning Board held a regular meeting on Thursday, January 16, 2020 in the E.L. Puryear Building located at 243 South Lake Avenue, Groveland, FL 34736. Chair Cicio called the meeting to order at 3:00 p.m. The following Board Members were present: Vice Chair Richard Skyzinski; Keith Keogh; Martin Taxson; and Doug Faivre. City Officials present were Anita Geraci-Carver, City Attorney; Tim Maslow, Staff Designee; DeWayne Jones, Staff Planner; Andrew Landis, Senior Planner; David Ausherman, Senior Planner and Maria Ramirez, Recording Secretary.

Absent: Board Members Felicia Stewart, Robert Proper and Bill Mathias.

**CONSENT AGENDA**

1. Approval of minutes: December 5, 2019 Planning & Zoning Board Meeting.

**Motion:**

Motion by Board Member Keogh to approve the November 14, 2019 Planning & Zoning Board Meeting minutes. Seconded by Board Member Taxson.

**Public Comment:**

None.

Motion passed with all members present voting aye.

**PRESENTATIONS**

None.

**OLD BUSINESS**

None.

**NEW BUSINESS**

1. **Recommendation on Ordinance 2019-55: Indigo Lakes Amendment**  
Recording Secretary Ramirez read the headnote into the record as follows:

An Ordinance of the City Council of the City of Groveland, County of Lake, State of Florida, Amending Restating, and Replacing in its entirety Ordinance 2006-08-67, for the herein described property owned by Indigo Land Groveland LLC, and located at 17200 Villa City Road, Groveland, Lake County, Florida; directing the City Manager to amend the zoning map as herein provided after the passage of this Ordinance; providing for severability; repealing all Ordinances in conflict herewith; and providing for an effective date.

**Motion:**

Motion by Board Member Keogh to discuss Ordinance 2019-55: Indigo Lakes Amendment. Seconded by Board Member Taxson.

**BOARD MEMBER DISCUSSION**

Tim Maslow presented the Revised Staff Report in a PowerPoint presentation. Mr. Maslow noted there is an existing sunset clause in the PUD. He advised it was discussed at the previous meeting in terms of submitting a construction plan for review and then providing an additional two years from the adoption of the construction plan to show significant progress on the construction itself. He suggested having a discussion on the sunset clause to make sure everyone is on the same page.

Chair Cicio expressed his concern that the sunset clause has not been revised as discussed three or four months ago and now we are rushing to approve the plan.

Chair Cicio asked to hear from the builder.

Jimmy Crawford, Attorney representing Indigo Lakes developers.

Chair Cicio inquired about the city's advantage in reducing the commercial by over 50 percent.

Mr. Crawford stated the commercial is not going to be built and that the commercial can be reduced under the existing PUD. It is not one of the substantial amendment criteria.

Chair Cicio asked if commercial is not wanted at all.

Mr. Crawford responded they have agreed to do the commercial the City has asked the builder to do. He stated if scaled back to the neighborhood commercial size and style being presented in the new PUD, it may be doable. The old commercial standards were part of the mansion vision but the mansion is no longer there.

Greg Clark, presented the Indigo Lakes PowerPoint. Mr. Clark stated based on the conversion rights in the old PUD, the new PUD can be converted to a single-family residential community and still follow the existing code. He expressed builder is requesting two changes to the existing PUD and is requesting a minimum lot width of 40 feet and side setbacks of five feet. He noted Mr. Maslow and his staff negotiated from the builder enhancements that are not required with the current code but will make the community the best one that's come along in Groveland. Highlighted items; six acre donation of a lake front park, the current PUD only required two acres; an oversized toddler park; larger lots; architectural restrictions; commercial parcels at the neighborhood entry, larger rear setbacks; increased open space; sunset clause; dark sky light fixtures; eight foot bike trail; on street parking; additional parks and reduced lots to create pedestrian connectivity.

Kyle Sanders continued with presentation, introduced the new village code requirements and highlighted a few examples. The new proposed village code requires an edge and center which is included in the plan. The neighborhood commercial located at the entrance of the community was re-envisioned to potentially use as a market, an art studio, café, or yoga studio; street connections with patterns with multiple intersections and continuation of existing streets into new developments from the North to the South as well as future developments; 20 percent open space; pedestrian and

bicycle accesses; access points to the lake; 1.4 mile trail; pool with neighborhood garden and park benches; tree preservation area.

Chair Cicio inquired about the budget to maintain all the parks mentioned. He also asked who is responsible for the maintenance cost of the six acres the developer is donating to the City, and maintenance cost of the parks added to the PUD.

Mr. Sanders stated the 6 acres and the park to the North will be owned and maintained by the City. The parks in the PUD will be owned and maintained by the Home Owners Association.

Chair Cicio inquired what kind of maintenance the six acres would require.

Mr. Maslow stated it hasn't been discussed as it was presented to staff late in the process. He assured this element will be included in the parks and trails master plan, which staff is currently working on for this year. The noted master plan will assist in pricing the maintenance.

Chair Cicio expressed concern that without a pre-budget, he sees added expense and deterioration.

Member Keogh inquired if Mr. Sanders had a drawing of the houses with weird decks to demonstrate how it would fit on the lot. Mr. Sanders did not have one but provided an image of Mr. Crawford's community to provide something similar. Mr. Crawford used his house as an example.

Member Keogh asked Mr. Crawford if the property behind his home also had five foot setback or a pool area. Mr. Crawford stated he backs up to an alley but that landscaping would help with noise.

Member Keogh stated landscape and windows do not block noise.

Chair Cicio expressed there's too many house on too little land.

Mr. Sanders stated a five foot setback is standard in the Orlando/Central Florida area.

Member Keogh noted, he lived in Windermere and it wasn't standard there.

Chair Cicio expressed this is completely different from what he expected in the Comprehensive Plan. He does not see the value.

Member Taxson inquired about standard width lots. Homes should not have the five-foot side setbacks. He stated the 20-foot space between homes adds value.

Member Taxson suggested building houses 25 or 27 feet wide, leaving the lot sizes the same. Mr. Sanders stated he's not interested in selling a 25 foot house when lots are going to be the same.

Chair Cicio expressed he does not agree with the lot width of 40 feet and side setbacks of five feet in the new PUD. Chair Cicio is for the Comprehensive Plan and will not vote when conditions have not been decided.

Member Taxson asked if he could table his vote and meet with Mr. Sanders to discuss the setbacks before making a decision. Member Taxson disagrees with the lot width of 40 feet and side setbacks of five feet. Board decided to move forward and vote.

Board Member Keogh inquired of City Attorney Anita Geraci-Carver if it has been legally tested to turn down an approved PUD. Attorney Anita Geraci-Carver advised that the PUD has not expired and builder can build according to the terms of the existing PUD.

**Motion:**

Motion by Member Keogh to move forward as proposed with Ordinance 2019-55: Indigo Lakes Amendment; seconded by Vice Chair Skyzinski.

**Public Comment:**

Marty Proctor presented an old PUD map and praised the Community Development team. He expressed he does not agree with the lot width of 40 feet and side setbacks of five feet in the new PUD.

Lowrie Brown expressed he does not agree with the lot width of 40 feet and side setbacks of five feet in the new PUD.

Board Member Keogh inquired with City Attorney Anita Geraci-Carver, if City Council can approve the PUD. City Attorney Geraci-Carver said yes.

**Motion:**

Motion denied 3/2 with all members present. Absent: Board Members Felicia Stewart, Robert Proper

**BOARD MEMBER DISCUSSION**

**Eagle Pointe PUD Amendment Update:** DeWayne Jones will provide a written update made in a previous Council meeting. Mr. Maslow stated a memo will be provided to P&Z and Council Members.

**Builder Code Violations:** Mr. Maslow stated 2 civil engineers have the Eagle Pointe violations, waiting on one of them to review it. Reallocating zoning reviews to the Planning and Zoning division to provide quality assurance.

**Permeable Materials:** Mr. Maslow noted there's not a standard clause yet. One will be ready in April, if not sooner and will be shared with P&Z Board.

**PUD Sunset Clauses:** Mr. Jones will add clause to the next agenda to vote on at the P&Z meeting.

**Election of Chair and Vice Chair:** Member Keogh would like to keep everything the same. Member Taxson agreed. Members decided to move forward and vote.

**Motion:**

Motioned by Member Keogh for continuity and adopted slate; seconded by Member Taxson.

Motioned passed with all member present voting aye.

**Public Comment:**

Member Keogh has requested affordable housing workshops to better understand what the City is doing.

Mr. Maslow advised of special work sessions starting in February.

Mr. Jones stated the next P&Z meeting is scheduled Thursday, February 6<sup>th</sup> and reminded the Board of March's P&Z meeting will be in the evening.

**ADJOURNMENT**

**Motion:**

Motion made by Board Member Keogh to adjourn the meeting at 5:05 P.M. Seconded by Board Member Taxson.



Attest:

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Dominic Cicio, Chair

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Maria Ramirez, Recording Secretary

**City of Groveland  
Minutes  
Planning and Zoning Board Meeting  
Thursday, February 6, 2020**

The Groveland Planning and Zoning Board held a regular meeting on Thursday, February 6, 2020 in the E.L. Puryear Building, located at 243 South Lake Avenue, Groveland, FL 34736. Chair Cicio called the meeting to order at 3:00 p.m. The following Board Members were present: Keith Keogh; Martin Taxson; Felicia Stewart; Robert Proper and Doug Faivre. City Officials present were Anita Geraci-Carver, City Attorney; Tim Maslow, Staff Designee; DeWayne Jones, Staff Planner; Andrew Landis, Senior Planner; David Ausherman, Senior Planner and Maria Ramirez, Recording Secretary.

Absent: Board Members Richard Skyzinski and Bill Mathias.

**CONSENT AGENDA**

1. Approval of minutes: January 16, 2020 Planning & Zoning Board Meeting. Chair Cicio requested to table minutes for revision to ensure Boards statements are noted in regards to their vote with Recommendation on Ordinance 2019-55; Indigo Lakes Amendment.

**Motion:**

Motion by Chair Cicio to table the January 16, 2020 Planning & Zoning Board Meeting minutes. Seconded by Board Member Keogh.

**Public Comment:**

None.

Motion passed with all members present voting aye.

**PRESENTATIONS**

None.

**OLD BUSINESS**

1. **Discussion on Ordinance 2020-02: PUD Sunset Clause**

Tim Maslow, Community Development Director, presented a summary of all existing PUDs in the City, the ones that have been developed and those actively under construction. The summary also included PUDs that have not initiated construction. Board was provided with the summary list. Mr. Maslow provided a detailed list on screen that is relevant to the conversation. Mr. Maslow stated the list contains the name of the PUDs, zoning ordinance number, year the actual PUDs were approved and the total acreage of each PUD. Mr. Maslow noted number 18 through 27 on the list have not initiated construction. He stated those were the 27 PUDs known as of today. Mr. Maslow expressed P&Z staff has inherited numerous records from the City dating back over the last 20 to 30 years, in which new information is being found. He ensured

this is the best information currently available. Staff is creating an interactive map for the whole City to show exactly where all the PUDs are located. Public will have access to of each PUD ordinance.

Member Faivre stated he had the original 2007 PUD for his community, Blue Spring Reserve. He stated the PUD currently listed has a Lot Count of 164 and it should be 277. Mr. Maslow expressed team will double check and verify. Member Faivre provided Mr. Maslow with a copy of the 2007 PUD.

Member Keogh followed up with questions on number 20 and 21-showing zero lots with 20 and 56 acres. He inquired what did that mean. Mr. Maslow stated it could be a commercial site rather than residential. Commercial parcels are not necessarily subdivided.

Mr. Maslow advised that staff is continually going though and gathering PUD ordinances. They are not currently in one folder to easily access.

Member Taxson asked what does established and intended mean in terms of a PUD. Mr. Maslow advised established means it's developed or close to finished. For staff, intended means there is no construction plan approved or construction has not been initiated. In these cases, there may be an opportunity to revisit the existing PUD for to rezoning under the updated code.

Member Proper inquired about Water Side Pointe having a separate PUD created for the 11 acres. Mr., Maslow stated it was an amendment under the same PUD.

Member Keogh inquired if there was a typing error with numbers 23 and 24 under zoning ordinance with the date. Mr. Maslow explained the first number is the year the application was initiated, the following numbers are the order of the ordinances.

Member Stewart inquired under construction, does it mean construction has been initiated. Mr. Maslow stated it means varies reasons; construction has been initiated or construction plan approved, infrastructure is being installed but not finished.

Mr. Maslow stated with PUDs 18 through 26 they have the opportunity to replace the sunset clause and improve the standards before moving forward. He provided the Board with a map that identifies the PUDs with the number on the list. Staff continues to research for other PUDs and PUD ordinances.

Chair Cicio stated it is his understanding the 27 PUDs have their own sunset clause. Mr. Maslow stated that's correct, most of the PUDs have their own sunset clause. Chair Cicio asked if there's something in common with the sunset clauses. Mr. Maslow expressed from his review, most of the PUDs sunset clauses have a trigger of expiration that only start after the construction plan has been approved. If a development or PUD that's been approved has never submitted or received an approval for construction plans, it means the clock never starts. Those are the individual PUD sunsets. A City sunset clause is currently in place that is slightly different from the individuals PUD clauses.

Mr. Maslow addressed the Board to review all the objectives to understand whether a sunset clause needs to be provided based on the existing, and improved, or a brand new one developed.

#### Objectives

1. Discontinue the use of PUD zoning, no more new PUDs.
2. Sunset all existing PUDs in City limits, gives City the jurisdiction. Address a joint planning agreement with Lake County.
3. Set a time line to submit and approve construction.
4. Superseding all individual sunset clauses within the existing PUDs. Under no circumstance will a PUD be extended.

Member Proper inquired if the City has an agreement or something in place with Lake County to annex into Groveland in order to develop or can they continue to develop outside and be the County.

Mr. Maslow advised that the City's Interlocal Service Boundary agreement does not require requirement to annex before developing.

City Attorney Anita Geraci-Carver also verified that Lake County does not have any requirements to come develop in City limits.

Chair Cicio inquired if the City knows which developments or PUDs on the list are not considered City limits. Mr. Maslow stated no but each PUD on the list is within City limits, but there are others that are within the Service Boundary but are not in Groveland City Limits.

Mr. Maslow read Groveland's existing PUD expiration clause. He noted Villa City among other have their own clause, ArborWood and Trinity have the same clause. Staff will verify if Libby Landing LLC carries a separate clause from Groveland's.

Member Taxson asked if the City can provide a construction plan time frame. City Attorney Anita Geraci-Carver state that common law.

Chair Cicio asked Mr. Maslow does he recommend the existing PUDs sunset clauses. Mr. Maslow stated he'd like to consider researching the Town of Oakland PUD. Chair Cicio read the Town of Oakland PUD to the Board. Tim explained the PUD. City Attorney Anita Geraci-Carver also recommends the Town of Oakland PUD.

Mr. Maslow stated P&Z staff will verify which PUDs have expired, if any and identify the individual clauses.

Member Proper recommended to table this discussion, give the staff more time to gather information. He advised for the P&Z staff to return in a month for further discuss. Mr. Maslow agreed a month is sufficient to regroup and come back to discussion.

#### **Motion:**

Motion by Member Proper to table the discussion on sunset clause, return in a month.  
Seconded by Board Member Stewart.

Motion passed with all members present voting aye.

### **Public Comment:**

Lowrie Brown asked if the Indigo Lakes PUD will come back to the P&Z Board for discussion. City Attorney Anita Geraci-Carver stated no.

Member Keogh addressed that two Council Members notified him of the meetings that were held with Indigo Lakes Builder/Developer. His concern was that the developer misquoted or misguided Council with incorrect information.

Member Faivre stated the setbacks were his primary reason why he voted against Indigo Lakes at the January 16<sup>th</sup> meeting.

Member Keogh mentioned the bank has the original approved Indigo Lakes PUD.

Member Proper stated he was absent at the January 6<sup>th</sup> P&Z meeting but he would've voted against it too if he would have been present.

Jane Gordon asked if the P&Z meeting and work session were advertised and open to the public. Mr. Maslow stated both are advertised and open to the public.

Marty Proctor inquired about the original and revised PUD. He stated the developer met staff conditions but not the conditions of the P&Z Board. He asked if the challenges put forth, have been addressed by staff and Board. Mr. Maslow assured the Staff Report will provide clarity to address all the challenges before the Council.

Jane Gordon raised concern that LaViance currently has nonstop noise and trash piling up. She stated this will continue for the next ten years.

She asked what is legally allowed?

Mr. Maslow addressed before 7 a.m. is a violation. Enforcement will look into it.

Public comments closed at 4:10 p.m.

### **BOARD MEMBER DISCUSSION**

Member Keogh asked about oak tress removed. Mr. Maslow stated Bernice will attend the next meeting and share code violation list approved in June 2019.

Member Keogh advised residents would like to see bike and horseback riding trails. Mr. Maslow will examine that element.

Member Keogh addressed the Code of Conduct clause. He stated his uncomfortable when items are presented during a meeting on a personal standpoint. He has asked to keep the Me's and I's out when presenting an item at a Board meeting.

Member Stewart addressed the concerns brought by Jane Gordon. Mr. Maslow stated it falls under Code Enforcement. Work before 7 a.m. is a violation under code ordinance.

Mr. Maslow explained the significance of "shalls and "mays" to the Board.

DeWayne Jones announced the March 5th meeting will be held at 6 p.m.

**ADJOURNMENT**

**Motion:**

Motion made by Board Member Proper to adjourn the meeting at 4:24 P.M. Seconded by Board Member Taxson.



Attest:

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Dominic Cicio, Chair

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Ciara Bender, Recording Secretary

# NEW BUSINESS

TRAILER HUB LLC  
ANNEXATION

# ATTACHMENT 1



## AGENDA ITEM

### MEMORANDUM

TO: PLANNING & ZONING BOARD MEMBERS

VIA: TIM MASLOW, COMMUNITY DEVELOPMENT DIRECTOR

FROM: DEWAYNE JONES, PLANNER I

SUBJECT: RECOMMENDATION ON ORDINANCE 2020-03 – TRAILER HUB  
LLC ANNEXATION

DATE: MARCH 5, 2020

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#### **GENERAL SUMMARY/BACKGROUND:**

City Community Development Staff received an application from property owner Trailer Hub LLC, requesting voluntary annexation into the City of Groveland, pursuant to Chapter 171, Florida Statutes. The parcel consists of 0.51 +/- acres, generally located on the northeast side of Sampey Road. The applicant is concurrently requesting a small scale comprehensive plan amendment and rezoning. Subsequent Ordinance 2020-05 will change the zoning from Lake County Industrial to City of Groveland M-1 Industrial and Ordinance 2020-04 will change the future land use designation from Lake County Industrial to City of Groveland Industrial.

Staff recommends approval of Ordinance 2020-03.

#### **BUDGET IMPACT:**

Annexation of the property and future development of the property will result in enhanced ad valorem revenues for the City.

#### **LEGAL NOTE:**

None.

#### **STAFF RECOMMENDATION:**

Staff is recommending approval of Ordinance 2020-03.

**ATTACHMENTS:**

**1. Attachment 1**

- Ordinance 2020-03 with Legal Description and Aerial Map

**2. Attachment 2**

- Application Submittal & Support Documents

**3. Attachment 3**

- Notice Support Documentation



*"City with Natural Charm"*

**ORDINANCE 2020-03**

**AN ORDINANCE EXTENDING AND INCREASING THE CORPORATE LIMITS OF THE CITY OF GROVELAND, COUNTY OF LAKE, STATE OF FLORIDA, PURSUANT TO THE VOLUNTARY ANNEXATION PROVISIONS OF SECTION 171.044, FLORIDA STATUTES (2019); ANNEXING 0.51 +/- ACRES OF REAL PROPERTY NOT EMBRACED WITHIN THE PRESENT LIMITS OF THE CITY OF GROVELAND; PROVIDING FOR FINDINGS; PROVIDING A LEGAL DESCRIPTION AND A MAP; DIRECTING THE CITY MANAGER TO RECORD CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL WITH THE CLERK OF THE CIRCUIT COURT, THE COUNTY MANAGER OF LAKE COUNTY, AND THE SECRETARY OF THE STATE OF FLORIDA; PROVIDING FOR CONFLICTS AND SEVERABILITY; PROVIDING FOR SCRIVENER'S ERRORS; SETTING AN EFFECTIVE DATE.**

**WHEREAS**, Trailer Hub, LLC as a property owner in an unincorporated area of Lake County, has petitioned the City Council, Groveland, Florida, to annex property into the City of Groveland; and

**WHEREAS**, the property, as hereafter defined, is eligible for annexation; and

**WHEREAS**, the City Council has determined that the area proposed for annexation meets the requirements of §171.044, Florida Statutes; and

**WHEREAS**, this Ordinance has been advertised as required by law with a copy of said notice sent via certified mail to the Board of County Commissioners of Lake County as provided for by statute; and

**WHEREAS**, all other procedural and notice requirements mandated by State law and the City's Code of Ordinances have been followed and satisfied; and

**NOW THEREFORE**, be it ordained, by the City Council of the City of Groveland, Florida, as follows:

**Section 1: Legislative Findings.** The recitals set forth above are hereby adopted as legislative findings of the City Council of the City of Groveland.

**Section 2: Annexation.** The corporate limits of the City of Groveland, Florida, are hereby extended and increased so as to include and embrace within the corporate limits of the City of Groveland, the real property described as:

**Legal Description: See attached.**

Parcel Id No.: 17-22-25-0003-000-00700; Alt. Key 1303575

(the "Property").

The Property is hereby annexed and declared to be a part of the City of Groveland. The Property is depicted in the map attached hereto as **Exhibit A**.

**Section 3: Applicability and Effect.** Upon this Ordinance becoming effective, the property annexed shall be subject to all laws, ordinances, and regulations enforced in the City of Groveland, and shall be entitled to the same privileges and benefits as other parts of the City of Groveland upon the effective date of the annexation.

**Section 4: Directions.** In accordance with Section 171.044(3), Florida Statutes (2019) within seven (7) days of the adoption of this Ordinance, certified copies of this shall be provided to the Clerk of the Circuit Court (Recording), and the Secretary of State of the State of Florida. It shall further be submitted to the Office of Economic and Demographic Research within 30 days of approval along with a statement specifying the population census effect and the affected land area. F.S. 171.091, Florida Statutes.

**Section 5: Conflicts.** All ordinances and parts of ordinances to the extent in conflict with this Ordinance are hereby repealed.

**Section 6: Severability.** If any provision or portion of this ordinance is declared by any court competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

**Section 7: Scrivener's Errors.** Scrivener's errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

**Section 8: Effective Date.** This ordinance shall become effective immediately upon passage by the City Council of the City of Groveland in accordance with law.

PASSED AND ORDAINED in regular session of the City Council of the City of Groveland, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

---

Evelyn Wilson, Mayor  
City of Groveland, Florida

Attest:

---

Virginia Wright, City Clerk



Approved as to form and legality:

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

First Reading \_\_\_\_\_

Second Reading \_\_\_\_\_

Council Member \_\_\_\_\_ moved the passage and adoption of the above and foregoing Ordinance. Motion was seconded by Council Member \_\_\_\_\_ and upon roll call on the motion the vote was as follows:

	YEA	NAY
Mike Radzik		
Mike Smith		
Dina Sweatt		
Randolph Waite		
Evelyn Wilson		

## Exhibit A

### Legal Description

From the Northwest corner of the NE 1/4 of the SW 1/4 of the SW 1/4, run South 0°01'18" East along the West line of the NE 1/4 of the SW 1/4 of the SW 1/4 210.83 feet to the Point of Beginning; thence North 89°39'06" East 135.22 feet; thence South 0°01'18" East 165.85 feet; thence South 89°39'06" West 135.22 feet to the West line of said NE 1/4 of the SW 1/4 of the SW 1/4; thence North 00°01'18" West, along said West line 165.85 feet to the Point of Beginning, lying and being in Section 17, Township 22 South, Range 25 East, Lake County, Florida.

**EXHIBIT A**



I have read the above and foregoing Verified Affidavit and do hereby swear or affirm I have personal knowledge of each and every statement of fact contained herein and each and every statement of fact is true and correct.

Dellwayne Jones  
(Applicant's Signature)

Print: Dellwayne Jones

Date: 2/20/20

The foregoing Affidavit was sworn to, subscribed and acknowledged before me this 20<sup>th</sup> day of Feb., 2020, by the Affiant, Dellwayne Jones, who:

is personally known to me, or has provided  
 identification as follows: \_\_\_\_\_



Ciara Bender  
Notary Public, State of Florida

TRAILER HUB LLC  
COMPREHENSIVE PLAN  
AMENDMENT

# ATTACHMENT 1



## AGENDA ITEM

### MEMORANDUM

TO: PLANNING & ZONING BOARD MEMBERS

VIA: TIM MASLOW, COMMUNITY DEVELOPMENT DIRECTOR

FROM: DEWAYNE JONES, PLANNER I

SUBJECT: RECOMMENDATION ON ORDINANCE 2020-04 –  
TRSAILER HUB LLC SMALL SCALE COMPREHENSIVE PLAN  
AMENDMENT

DATE: MARCH 5, 2020

---

#### **GENERAL SUMMARY/BACKGROUND:**

City Community Development Staff received an application from property owner Trailer Hub LLC, requesting a Small Scale Comprehensive Plan Amendment from Lake County Industrial to City of Groveland Industrial for a 0.51 +/- acre parcel, generally located on the northeast side of Sampey Road. The applicant is concurrently requesting a rezoning from Lake County Industrial to City of Groveland M-1 Industrial District. The subject property is currently vacant.

Staff recommends approval of Ordinance 2020-04.

#### **ECONOMIC REVENUE IMPACT:**

The site will be developed for job creation

#### **LEGAL NOTE:**

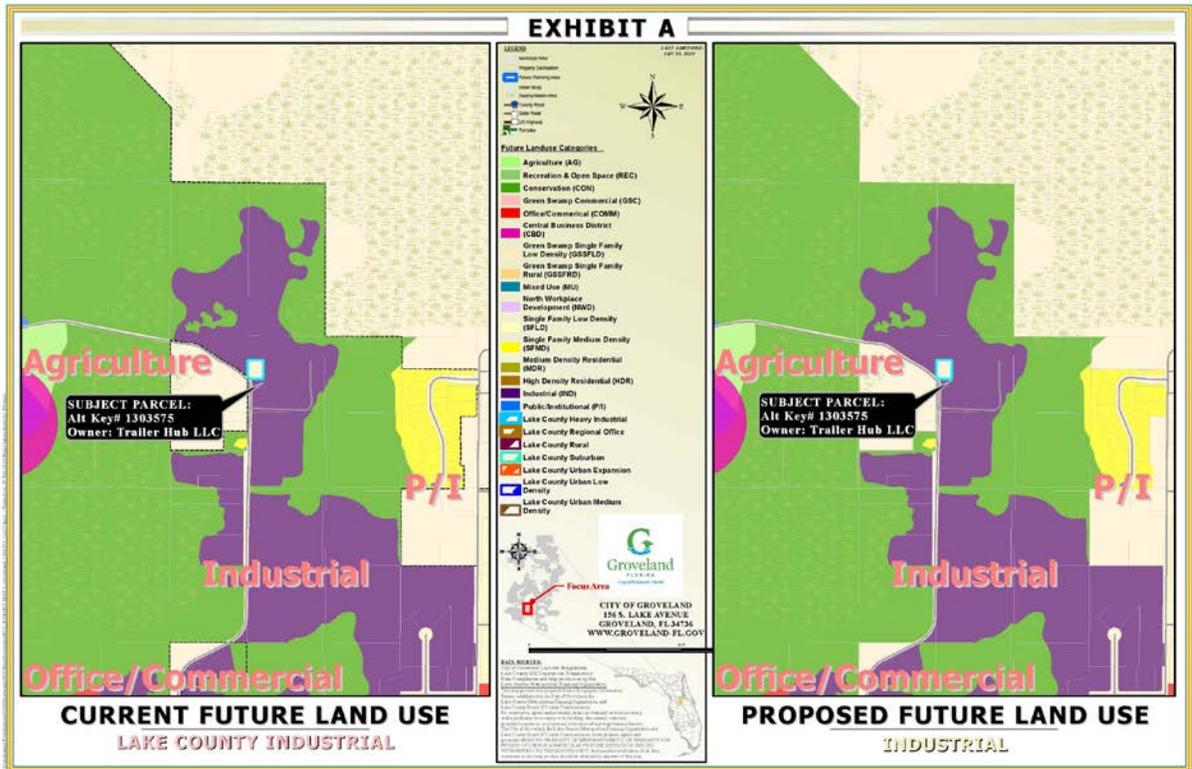
None.

#### **STAFF RECOMMENDATION:**

Community Development Staff- Approval of Ordinance 2020-04.

#### **ATTACHMENTS:**

1. Attachment 1
  - Ordinance 2020-04 with legal description and Future Land Use Map
2. Attachment 2
  - Application Submittal & Support Documents
3. Attachment 3
  - Notice Support Documentation



*"City with Natural Charm"*

**ORDINANCE 2020-04**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GROVELAND, LAKE COUNTY, FLORIDA, AMENDING THE CITY OF GROVELAND'S COMPREHENSIVE PLAN PURSUANT TO 163.3187(1), FLORIDA STATUTES, BY AMENDING THE COMPREHENSIVE LAND-USE PLAN DESIGNATION FROM LAKE COUNTY INDUSTRIAL TO CITY OF GROVELAND INDUSTRIAL ON THE FUTURE LAND-USE MAP FOR THE HEREIN DESCRIBED PROPERTY CONSISTING OF 0.51 +/- ACRES; AUTHORIZING THE CITY MANAGER TO AMEND SAID COMPREHENSIVE PLAN; REPEALING ALL ORDINANCES IN CONFLICT HERewith; PROVIDING FOR SEVERABILITY AND SCRIVENER'S ERRORS; PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, the City of Groveland, Florida adopted Ordinance 92-02-01, adopting the Comprehensive Plan for the City of Groveland which has since been amended, and

**WHEREAS**, the request for this small-scale plan amendment is initiated on behalf of the owner, Trailer Hub LLC; and

**WHEREAS**, the Planning and Zoning Board of the City of Groveland held a public hearing on this ordinance which was advertised in accordance with law prior to the meeting, and

**WHEREAS**, the City Council of the City of Groveland public hearing has been advertised as required by law for one public hearing with the public hearing occurring at least 5 days after the advertisement was published; and

**WHEREAS**, the City Council of the City of Groveland hereby finds and determines that the plan amendment is internally consistent with the City's Comprehensive Plan; and

**WHEREAS**, it is in the best interests of the City of Groveland to amend the Comprehensive Plan for the City of Groveland as set forth herein.

**WHEREAS**, the City of Groveland desires to amend the Comprehensive Plan for the City of Groveland as set forth below.

**Now, therefore, it be ordained by the City Council of the City of Groveland, Florida:**

**Section 1. Legislative Findings.**

The recitals set forth above are hereby adopted as legislative findings of the City Council of the City of Groveland.

**Section 2. Comprehensive Plan Amendment**

- A. The Property is legally described in **Exhibit A** attached hereto and incorporated herein, consisting of 0.51 +/- acres, more or less, (the "Property").

- B. That portion of the Future Land Use Element referenced as the Future Land Use Map of the City of Groveland Comprehensive Plan is hereby amended by changing the designation of the Property, on the City of Groveland Future Land Use Map from Lake County Industrial and designating the Property on the Future Land Use Map to:

**CITY OF GROVELAND – INDUSTRIAL**

**Exhibit B (attached hereto and incorporated herein) – Future Land Use Map amendment**

**Section 3. Severability**

Upon a determination that by a court of competent jurisdiction that a portion of this ordinance or the comprehensive plan adopted hereby is void, unconstitutional or unenforceable, all remaining portions shall remain in full force and effect.

**Section 4. Direction to the City Manager.**

Upon the Effective Date of this ordinance, the City Manager is hereby authorized to amend the comprehensive plan and future land-use map as identified herein after compliance with F.S. 163.3187 and F.S. 163.3184(11).

**Section 5. Scrivener’s Errors.** Scrivener’s errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

**Section 6. Repeal**

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section 7. Adoption**

After adoption, a copy hereof shall be forwarding to the Department of Economic Opportunity.

**Section 8. Effective Date**

This ordinance shall become effective upon the 31<sup>st</sup> day after adoption unless timely challenged, and then will become effective upon the date a final order is issued by the Department of Economic Opportunities or Administration Commission finding the amendment in compliance in accordance with Section 163.3187, Florida Statutes. No development permits or land uses dependent on this amendment may be issued or commence before it has become effective.

PASSED and ADOPTED at a regular meeting of the City Council of the City of Groveland, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

---

Evelyn Wilson, Mayor  
City of Groveland, Florida

Attest:

\_\_\_\_\_  
Virginia Wright, City Clerk



Approved as to form and legality:

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

First Reading \_\_\_\_\_

Second Reading \_\_\_\_\_

Council Member \_\_\_\_\_ moved the passage and adoption of the above and foregoing Ordinance. Motion was seconded by Council Member \_\_\_\_\_ and upon roll call on the motion the vote was as follows:

	YEA	NAY
Mike Radzik		
Mike Smith		
Dina Sweatt		
Randolph Waite		
Evelyn Wilson		

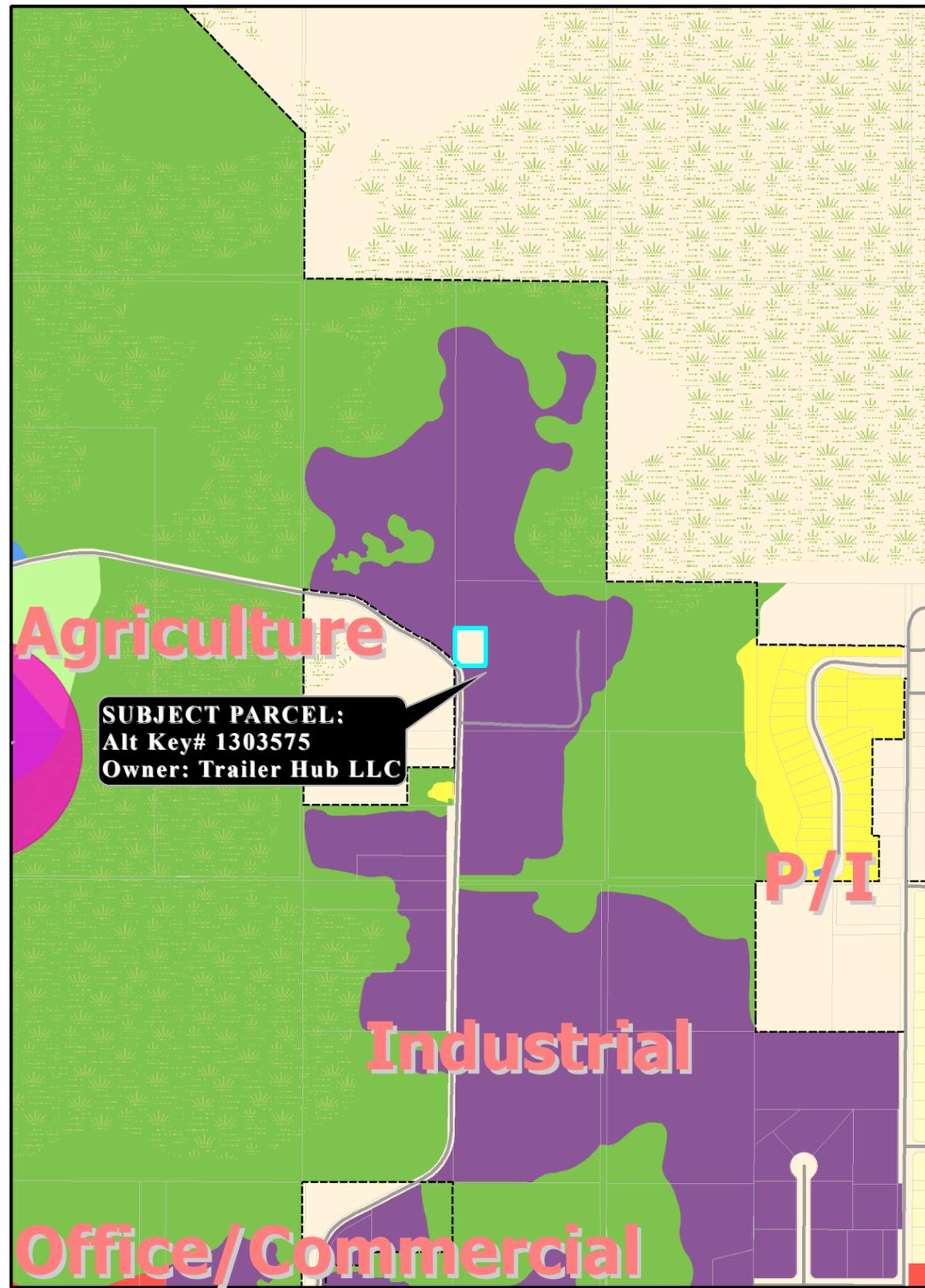
**EXHIBIT A**  
**Legal Description of the Property**

**Legal Description:**

From the Northwest corner of the NE 1/4 of the SW 1/4 of the SW 1/4, run South 0°01'18" East along the West line of the NE 1/4 of the SW 1/4 of the SW 1/4 210.83 feet to the Point of Beginning; thence North 89°39'06" East 135.22 feet; thence South 0°01'18" East 165.85 feet; thence South 89°39'06" West 135.22 feet to the West line of said NE 1/4 of the SW 1/4 of the SW 1/4; thence North 00°01'18" West, along said West line 165.85 feet to the Point of Beginning, lying and being in Section 17, Township 22 South, Range 25 East, Lake County, Florida.

Parcel Id No.: 17-22-25-0003-000-00700; Alt. Key 1303575 (the "Property").

# EXHIBIT B



**CURRENT FUTURE LAND USE**  
LAKE COUNTY INDUSTRIAL

**LEGEND** LAST AMENDED:  
JAN 15, 2020

- Municipal Area
- Property Delineation
- Future Planning Area
- Water Body
- Swamp/Marsh Area
- County Road
- State Road
- US Highway
- Turnpike

**Future Landuse Categories**

- Agriculture (AG)
- Recreation & Open Space (REC)
- Conservation (CON)
- Green Swamp Commercial (GSC)
- Office/Commerical (COMM)
- Central Business District (CBD)
- Green Swamp Single Family Low Density (GSSFLD)
- Green Swamp Single Family Rural (GSSFRD)
- Mixed Use (MU)
- North Workplace Development (NWD)
- Single Family Low Density (SFLD)
- Single Family Medium Density (SFMD)
- Medium Density Residential (MDR)
- High Density Residential (HDR)
- Industrial (IND)
- Public/Institutional (P/I)
- Lake County Heavy Industrial
- Lake County Regional Office
- Lake County Rural
- Lake County Suburban
- Lake County Urban Expansion
- Lake County Urban Low Density
- Lake County Urban Medium Density

**Groveland**  
FLORIDA  
*City with Natural Charm*

**CITY OF GROVELAND**  
156 S. LAKE AVENUE  
GROVELAND, FL 34736  
WWW.GROVELAND-FL.GOV

**Focus Area**

**DATA SOURCES:**  
City of Groveland Land use designations  
Lake County GIS Department; Planimetrics  
Data Compilation and Map production by the  
Lake-Sumter Metropolitan Planning Organization.  
This map product was prepared from a Geographic Information System established by the City of Groveland, the Lake-Sumter Metropolitan Planning Organization, and Lake County Board of County Commissioners.  
Its employees, agents and personnel, make no warranty as to its accuracy, and in particular its accuracy as to labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon.  
The City of Groveland, the Lake-Sumter Metropolitan Planning Organization and Lake County Board of County Commissioners, its employees, agents and personnel MAKE NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR A PARTICULAR PURPOSE EXPRESS OR IMPLIED WITH RESPECT TO THIS MAP PRODUCT. Independent verification of all data contained on this map product should be obtained by any user of this map.



**PROPOSED FUTURE LAND USE**  
INDUSTRIAL

P:\Community Development\GIS\MapDocuments\FLU\_EXHIBIT.MXD - Groveland - 1303575 - 11x17.mxd - Printed on: 27 Feb 2020 Map Composition by: Frances

TRAILER HUB LLC  
REZONING

# ATTACHMENT 1



AGENDA ITEM

MEMORANDUM

TO: PLANNING & ZONING BOARD MEMBERS
VIA: TIM MASLOW, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEWAYNE JONES, PLANNER I
SUBJECT: RECOMMENDATION ON ORDINANCE 2020-05 - TRAILER HUB LLC REZONING
DATE: MARCH 5, 2020

GENERAL SUMMARY/BACKGROUND:

City Community Development Staff received an application from property owner Trailer Hub LLC, requesting a rezoning of a 0.51 +/- acre parcel, generally located on the northeast side of Sampey Road. The applicant is requesting a rezoning from Lake County Industrial to City of Groveland M-1 Industrial District. The subject property is currently vacant.

The tables below summarizes the proposed development standards for the M-1-Industrial project.

Table with 2 columns: Development Program, Land Use, Industrial

Table with 2 columns: Standard, Total. Rows include Min. Lot Size, Max. Impervious Coverage, Max. Height, Max. F.A.R., Setbacks (Front, Side, Rear)

Staff recommends approval of Ordinance 2020-05.

ECONOMIC REVENUE IMPACT:

The site will be developed for job creation.

**LEGAL NOTE:**

None.

**STAFF RECOMMENDATION:**

Community Development Staff- Approval of Ordinance 2020-05.

**ATTACHMENTS:**

**1. Attachment 1**

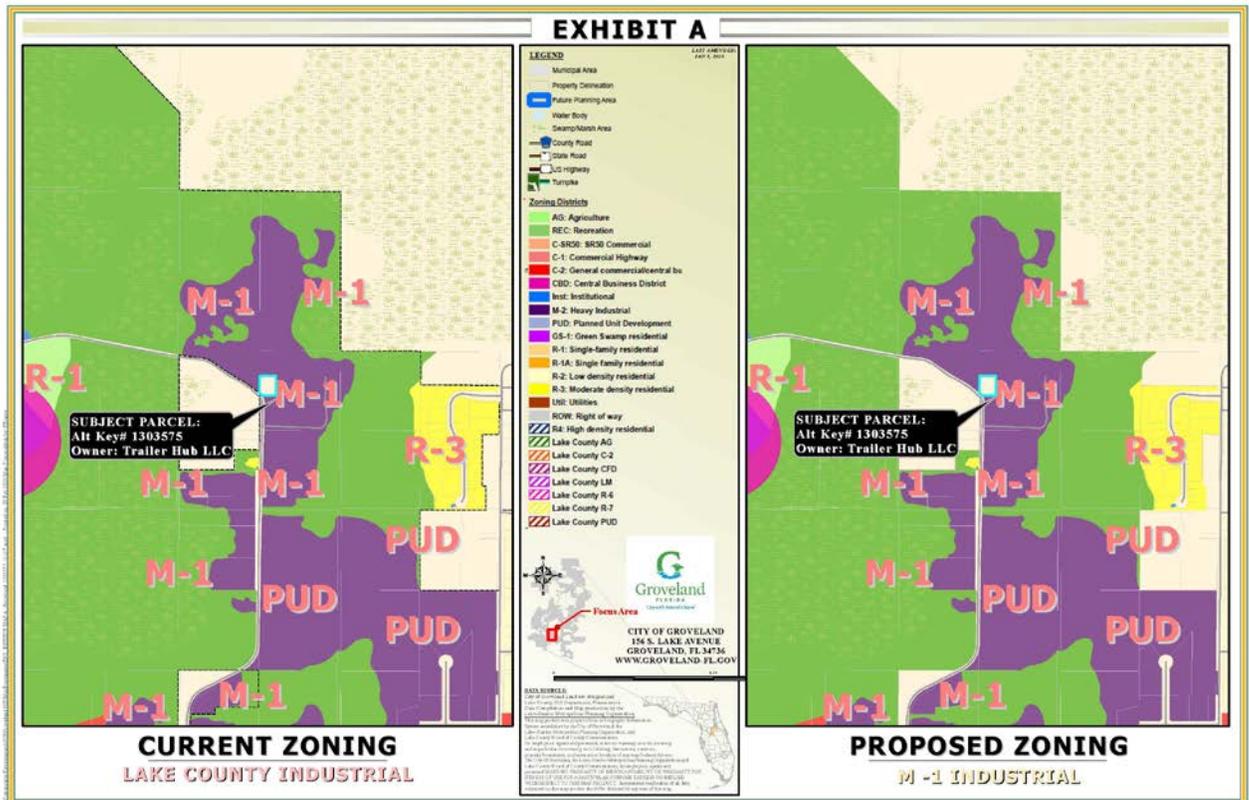
- Ordinance 2020-05 with legal description and Rezoning Map

**2. Attachment 2**

- Application Submittal & Support Documents

**3. Attachment 3**

- Notice Support Documentation



*"City with Natural Charm"*

**ORDINANCE 2020-05**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GROVELAND, COUNTY OF LAKE, STATE OF FLORIDA, TO CHANGE THE ZONING FROM LAKE COUNTY INDUSTRIAL TO CITY OF GROVELAND M-1 INDUSTRIAL DISTRICT FOR THE HEREIN DESCRIBED PROPERTY OWNED BY TRAILER HUB LLC AND LOCATED EAST OF SAMPEY ROAD; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP AS HEREIN PROVIDED AFTER THE PASSAGE OF THIS ORDINANCE; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR SCRIVENER’S ERRORS, AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Trailer Hub, LLC, the owner requested a rezoning from Lake County Industrial to City of Groveland M-1 Industrial District; and

**WHEREAS**, the subject properties consist of 0.51 +/- acres located east of Sampey Road, and is more particularly described herein; and

**WHEREAS**, the property has a future land use designation of Industrial as shown on the City of Groveland Comprehensive Plan Future Land Use Map; and

**WHEREAS**, the proposed zoning is consistent with the future land use designation.

**WHEREAS**, the City of Groveland Planning and Zoning Board recommended approval of a change in the use of the Property;

**WHEREAS**, the City has held such public hearing and the records of the City provide that the owners of the land affected have been notified as required by law

**NOW, THEREFORE**, BE IT ORDAINED by the City Council of the City of Groveland, Florida, as follows:

**Section 1: Purpose and Intent.**

That the zoning classification of the following described property, being situated in the City of Groveland, Florida, shall be hereafter be designated:

**City of Groveland M-1 Industrial**

See attached legal description attached hereto as **Exhibit A**.

Parcel Id No.: 17-22-25-0003-000-00700; Alt. Key 1303575 (the “Property”).  
The Property is more particularly depicted in **Exhibit B** attached hereto and incorporated herein.

**Section 2: Zoning Classification.**

That the Property shall be designated as Groveland M-1 Industrial District in accordance with Land Development Code of the City of Groveland, Florida.

**Section 3: Consistent with Comprehensive Plan.**

That the zoning classification is consistent with the Comprehensive Plan of the City of Groveland, Florida.

**Section 4: Official Zoning Map.**

That the City Manager, or designee, is hereby directed to amend, alter, and implement the official zoning maps of the City of Groveland, Florida, to include said designation consistent with this Ordinance.

**Section 5: Severability.**

That if any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

**Section 6. Scrivener’s Errors.** Scrivener’s errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

**Section 7: Conflict.**

That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section 8: Effective Date.**

This Ordinance shall become effective immediately upon its approval and adoption by the City Council of the City of Groveland.

PASSED AND ORDAINED in regular session of the City Council of the City of Groveland, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Evelyn Wilson, Mayor  
City of Groveland, Florida

Attest:

\_\_\_\_\_  
Virginia Wright, City Clerk



Approved as to form and legality:

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

First Reading \_\_\_\_\_

Second Reading \_\_\_\_\_

Council Member \_\_\_\_\_ moved the passage and adoption of the above and foregoing Ordinance. Motion was seconded by Council Member \_\_\_\_\_ and upon roll call on the motion the vote was as follows:

	YEA	NAY
Mike Radzik		
Mike Smith		
Dina Sweatt		
Randolph Waite		
Evelyn Wilson		

**EXHIBIT A**  
**Legal Description of the Property**

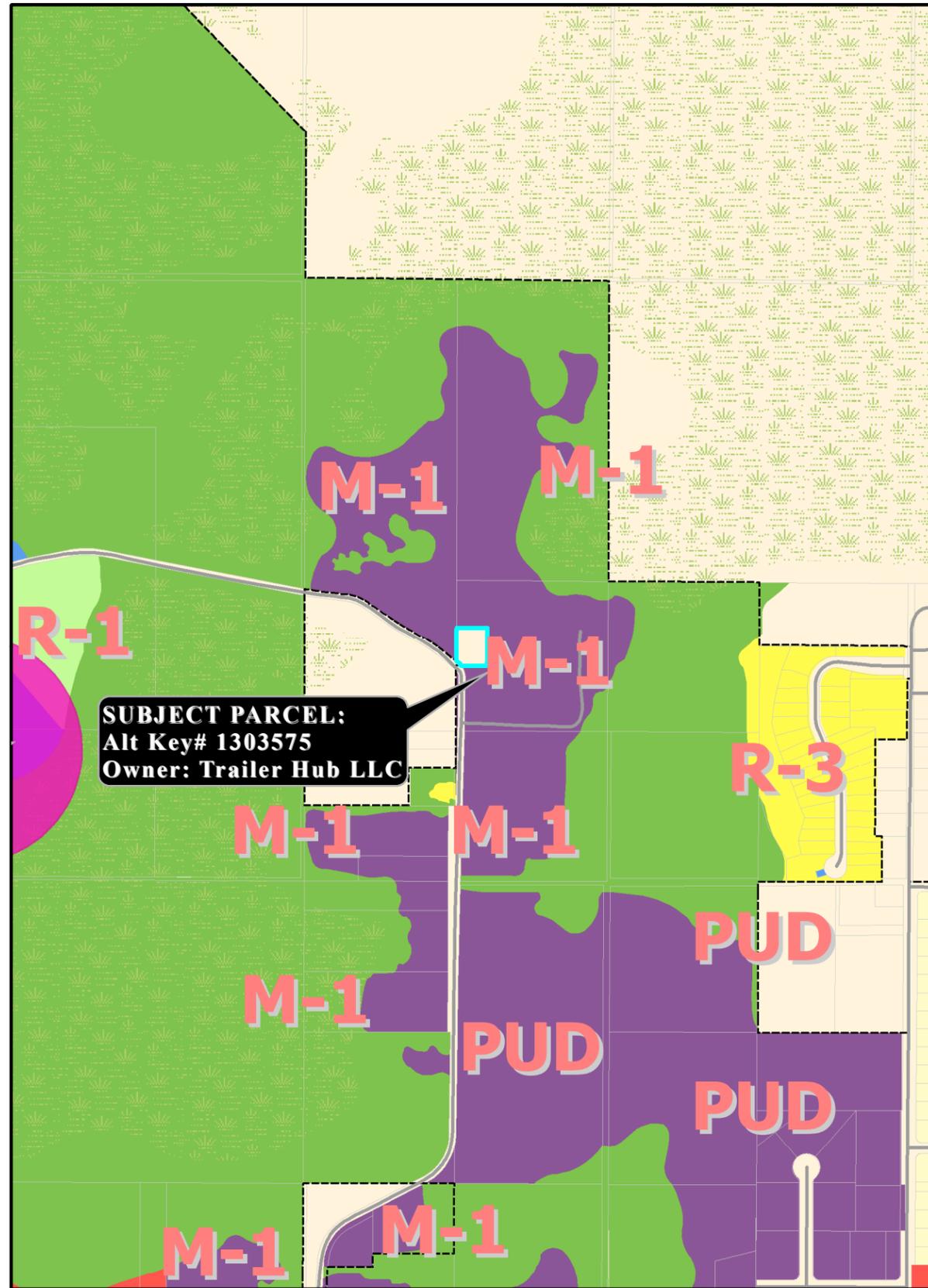
**Legal Description:**

From the Northwest corner of the NE 1/4 of the SW 1/4 of the SW 1/4, run South 0°01'18" East along the West line of the NE 1/4 of the SW 1/4 of the SW 1/4 210.83 feet to the Point of Beginning; thence North 89°39'06" East 135.22 feet; thence South 0°01'18" East 165.85 feet; thence South 89°39'06" West 135.22 feet to the West line of said NE 1/4 of the SW 1/4 of the SW 1/4; thence North 00°01' 18" West, along said West line 165.85 feet to the Point of Beginning, lying and being in Section 17, Township 22 South, Range 25 East, Lake County, Florida.

Parcel Id No.: 17-22-25-0003-000-00700; Alt. Key 1303575 (the "Property").

# EXHIBIT B

LAST AMENDED:  
JAN 1, 2020



**CURRENT ZONING**  
**LAKE COUNTY INDUSTRIAL**

**LEGEND**

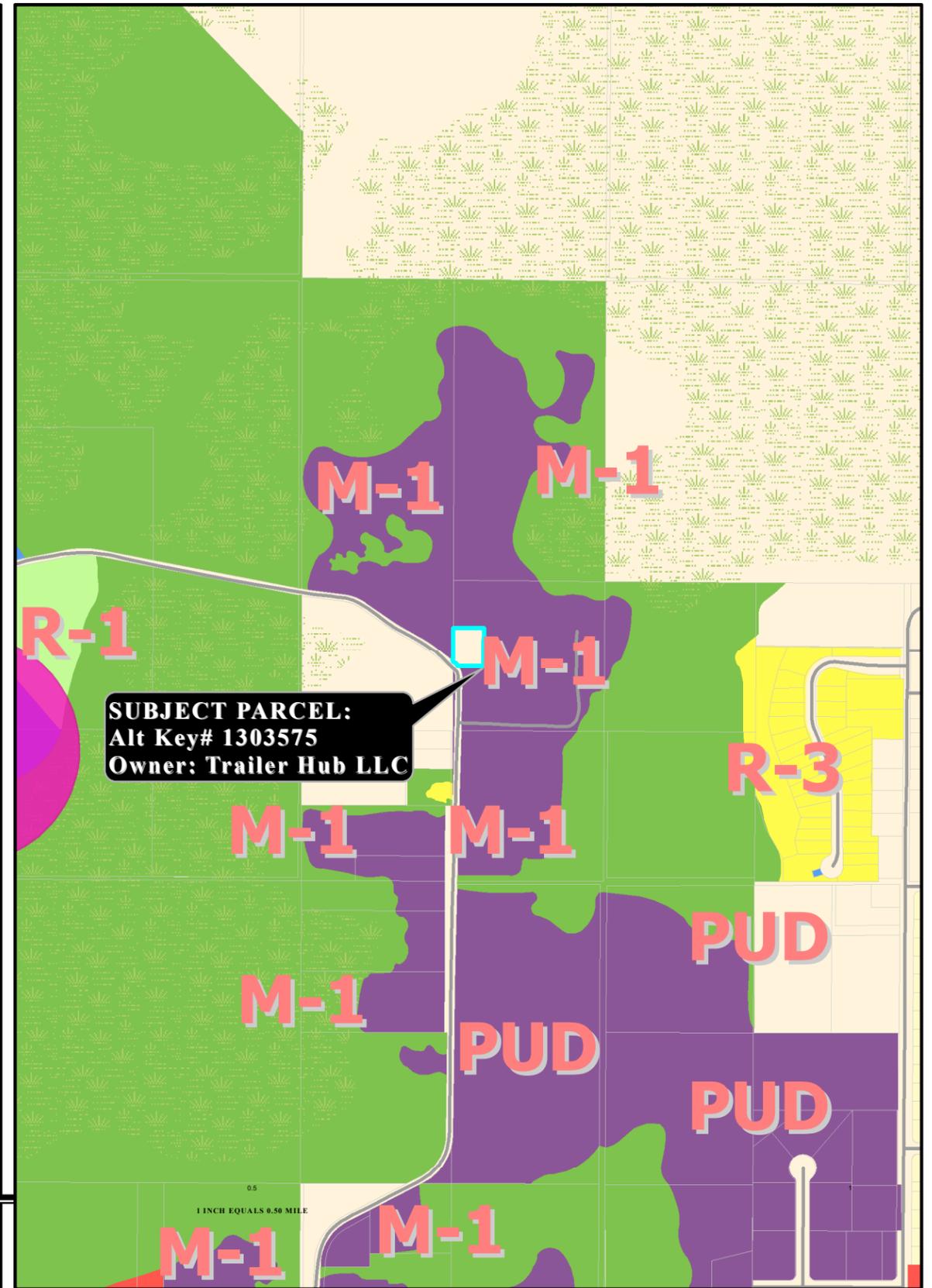
- Municipal Area
- Property Delineation
- Future Planning Area
- Water Body
- Swamp/Marsh Area
- County Road
- State Road
- US Highway
- Turnpike

**Zoning Districts**

- AG: Agriculture
- REC: Recreation
- C-SR50: SR50 Commercial
- C-1: Commercial Highway
- C-2: General commercial/central bu
- CBD: Central Business District
- Inst: Institutional
- M-2: Heavy Industrial
- PUD: Planned Unit Development
- GS-1: Green Swamp residential
- R-1: Single-family residential
- R-1A: Single family residential
- R-2: Low density residential
- R-3: Moderate density residential
- Util: Utilities
- ROW: Right of way
- R4: High density residential
- Lake County AG
- Lake County C-2
- Lake County CFD
- Lake County LM
- Lake County R-6
- Lake County R-7
- Lake County PUD



**DATA SOURCES:**  
City of Groveland Land use designations  
Lake County GIS Department; Planimetrics  
Data Compilation and Map production by the  
Lake-Sumter Metropolitan Planning Organization.  
This map product was prepared from a Geographic Information  
System established by the City of Groveland, the  
Lake-Sumter Metropolitan Planning Organization, and  
Lake County Board of County Commissioners.  
Its employees, agents and personnel, make no warranty as to its accuracy,  
and in particular its accuracy as to labeling, dimensions, contours,  
property boundaries, or placement or location of any map features thereon.  
The City of Groveland, the Lake-Sumter Metropolitan Planning Organization and  
Lake County Board of County Commissioners, its employees, agents and  
personnel MAKE NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR  
FITNESS OF USE FOR A PARTICULAR PURPOSE EXPRESS OR IMPLIED  
WITH RESPECT TO THIS MAP PRODUCT. Independent verification of all data  
contained on this map product should be obtained by any user of this map.



**PROPOSED ZONING**  
**M -1 INDUSTRIAL**

V.J. OLENO  
COMPREHENSIVE PLAN  
AMENDMENT

# ATTACHMENT 1



## AGENDA ITEM

### MEMORANDUM

TO: PLANNING & ZONING BOARD MEMBERS

VIA: TIM MASLOW, COMMUNITY DEVELOPMENT DIRECTOR

FROM: DEWAYNE JONES, PLANNER I

SUBJECT: RECOMMENDATION ON ORDINANCE 2020-06 –  
V.J. OLENO SMALL SCALE COMPREHENSIVE PLAN  
AMENDMENT

DATE: MARCH 5, 2020

---

#### **GENERAL SUMMARY/BACKGROUND:**

City Community Development Staff received an application from applicant Knight Engineering Services Inc., representing property owner JCJ Family Partnership Ltd., requesting a Small Scale Comprehensive Plan Amendment from Lake County Industrial to City of Groveland Industrial for a 2.49 +/- acre parcel, generally located on the west side of Independence Boulevard in the Christopher C. Ford Commerce Park. The applicant is concurrently requesting a rezoning from Lake County Industrial to City of Groveland M-2 Heavy Industrial. The subject property is currently vacant.

Staff recommends approval of Ordinance 2020-06.

#### **ECONOMIC REVENUE IMPACT:**

The site will be developed for job creation.

#### **LEGAL NOTE:**

None.

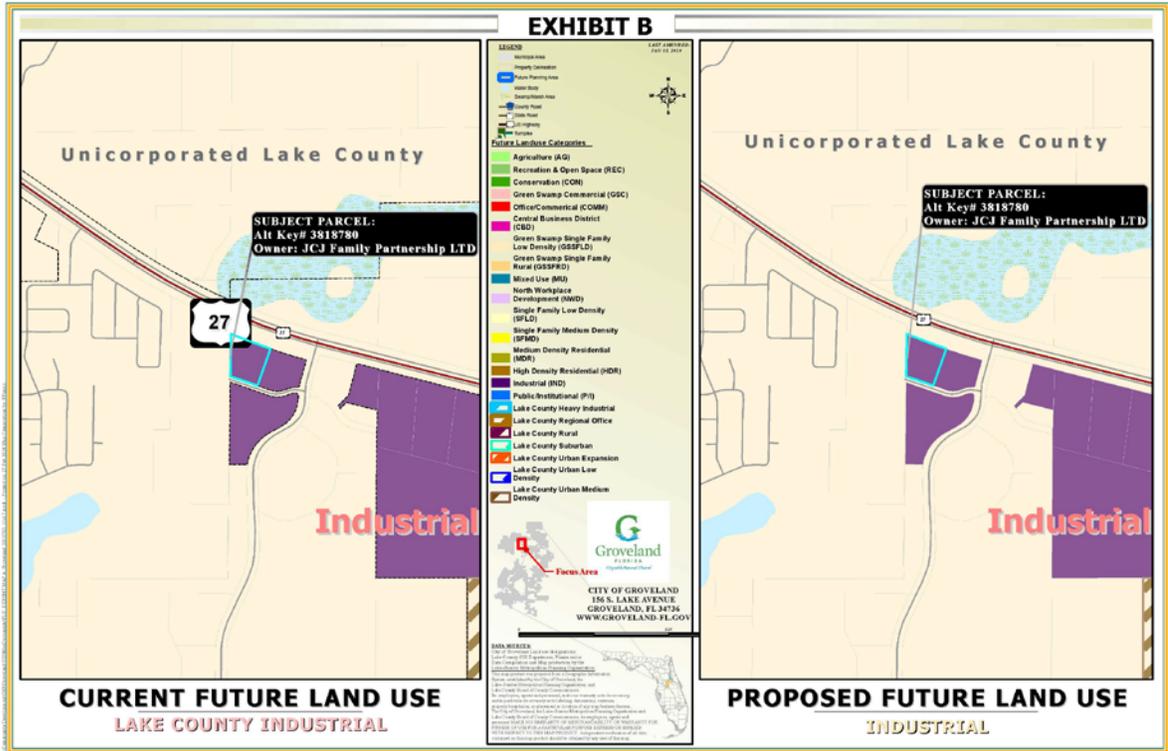
#### **STAFF RECOMMENDATION:**

Community Development Staff- Approval of Ordinance 2020-06.

#### **ATTACHMENTS:**

1. Attachment 1
  - Ordinance 2020-06 with legal description and Future Land Use Map
2. Attachment 2
  - Application Submittal & Support Documents
3. Attachment 3
  - Notice Support Documentation

**EXHIBIT B**



*"City with Natural Charm"*

## **ORDINANCE 2020-06**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GROVELAND, LAKE COUNTY, FLORIDA, AMENDING THE CITY OF GROVELAND'S COMPREHENSIVE PLAN PURSUANT TO 163.3187(1), FLORIDA STATUTES, BY AMENDING THE COMPREHENSIVE LAND-USE PLAN DESIGNATION FROM LAKE COUNTY INDUSTRIAL TO CITY OF GROVELAND INDUSTRIAL ON THE FUTURE LAND-USE MAP FOR THE HEREIN DESCRIBED PROPERTY CONSISTING OF 2.49 +/- ACRES; AUTHORIZING THE CITY MANAGER TO AMEND SAID COMPREHENSIVE PLAN; REPEALING ALL ORDINANCES IN CONFLICT HERewith; PROVIDING FOR SEVERABILITY AND SCRIVENER'S ERRORS; PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, the City of Groveland, Florida adopted Ordinance 92-02-01, adopting the Comprehensive Plan for the City of Groveland which has since been amended, and

**WHEREAS**, the request for this small-scale plan amendment is initiated by Thomas Knight, Knight's Engineering Services, Inc. on behalf of the owner, JCJ Family Partnership Ltd.; and

**WHEREAS**, the Planning and Zoning Board of the City of Groveland held a public hearing on this ordinance which was advertised in accordance with law prior to the meeting, and

**WHEREAS**, the City Council of the City of Groveland public hearing has been advertised as required by law for one public hearing with the public hearing occurring at least 5 days after the advertisement was published; and

**WHEREAS**, the City Council of the City of Groveland hereby finds and determines that the plan amendment is internally consistent with the City's Comprehensive Plan; and

**WHEREAS**, it is in the best interests of the City of Groveland to amend the Comprehensive Plan for the City of Groveland as set forth herein.

**WHEREAS**, the City of Groveland desires to amend the Comprehensive Plan for the City of Groveland as set forth below.

**Now, therefore, it be ordained by the City Council of the City of Groveland, Florida:**

**Section 1. Legislative Findings.**

The recitals set forth above are hereby adopted as legislative findings of the City Council of the City of Groveland.

**Section 2. Comprehensive Plan Amendment**

- A. The Property is legally described in **Exhibit A** attached hereto and incorporated herein, consisting of 2.49 +/- acres, more or less, (the "Property").

- B. That portion of the Future Land Use Element referenced as the Future Land Use Map of the City of Groveland Comprehensive Plan is hereby amended by changing the designation of the Property, on the City of Groveland Future Land Use Map from Lake County Industrial and designating the Property on the Future Land Use Map to:

## **CITY OF GROVELAND – INDUSTRIAL**

### **Exhibit B (attached hereto and incorporated herein) – Future Land Use Map amendment**

#### **Section 3. Severability**

Upon a determination that by a court of competent jurisdiction that a portion of this ordinance or the comprehensive plan adopted hereby is void, unconstitutional or unenforceable, all remaining portions shall remain in full force and effect.

#### **Section 4. Direction to the City Manager.**

Upon the Effective Date of this ordinance, the City Manager is hereby authorized to amend the comprehensive plan and future land-use map as identified herein after compliance with F.S. 163.3187 and F.S. 163.3184(11).

**Section 5. Scrivener's Errors.** Scrivener's errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

#### **Section 6. Repeal**

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

#### **Section 7. Adoption**

After adoption, a copy hereof shall be forwarding to the Department of Economic Opportunity.

#### **Section 8. Effective Date**

This ordinance shall become effective upon the 31<sup>st</sup> day after adoption unless timely challenged, and then will become effective upon the date a final order is issued by the Department of Economic Opportunities or Administration Commission finding the amendment in compliance in accordance with Section 163.3187, Florida Statutes. No development permits or land uses dependent on this amendment may be issued or commence before it has become effective.

PASSED and ADOPTED at a regular meeting of the City Council of the City of Groveland, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

---

Evelyn Wilson, Mayor  
City of Groveland, Florida

Attest:

\_\_\_\_\_  
Virginia Wright, City Clerk



Approved as to form and legality:

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

First Reading \_\_\_\_\_

Second Reading \_\_\_\_\_

Council Member \_\_\_\_\_ moved the passage and adoption of the above and foregoing Ordinance. Motion was seconded by Council Member \_\_\_\_\_ and upon roll call on the motion the vote was as follows:

	YEA	NAY
Mike Radzik		
Mike Smith		
Dina Sweatt		
Randolph Waite		
Evelyn Wilson		

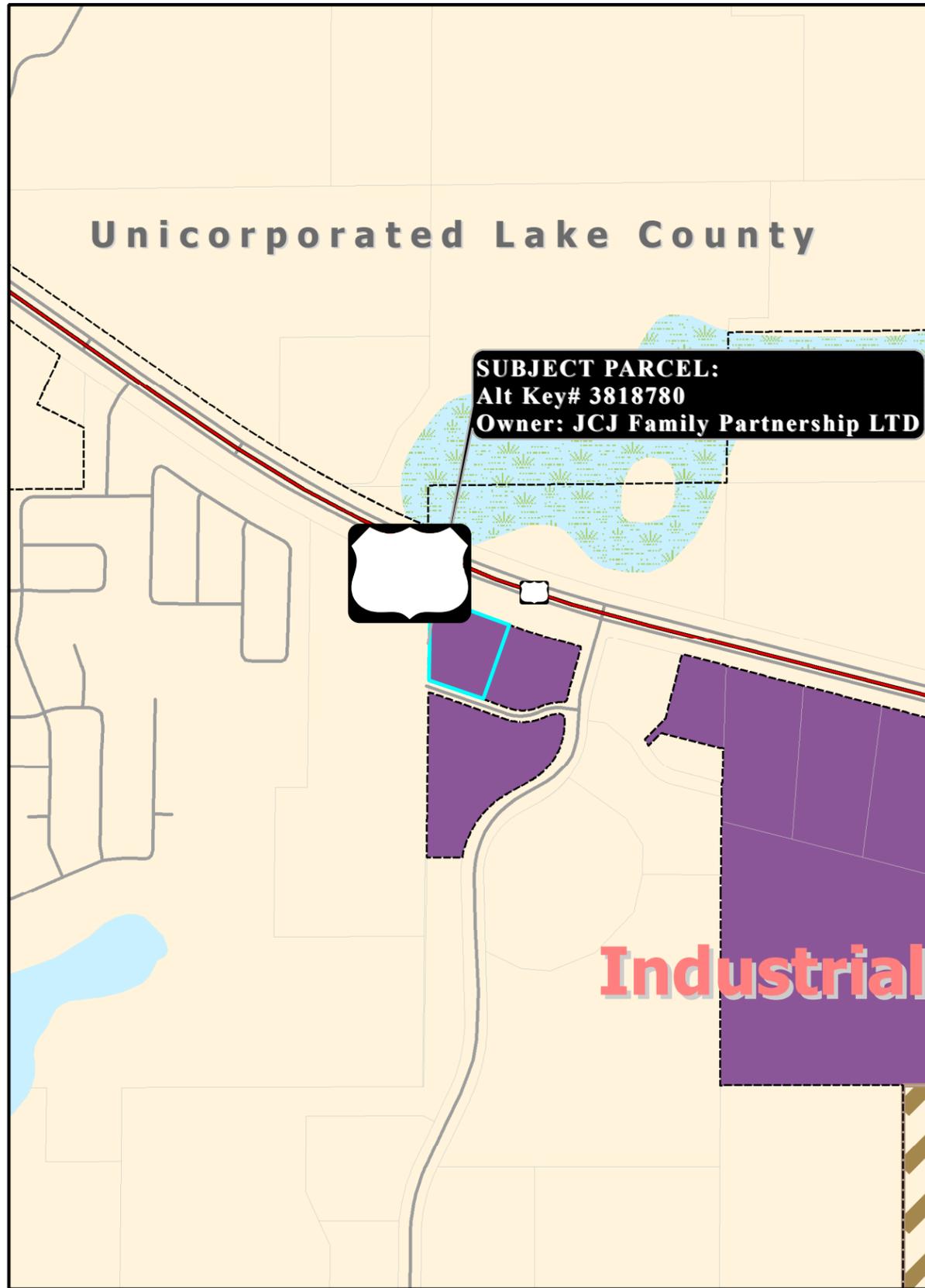
**EXHIBIT A**  
**Legal Description of the Property**

**Legal Description:**

Lot 2 of Christopher C. Ford Commerce Park Replat #1, according to the replat thereof as recorded in Plat Book 49, Page 85, Public Records of Lake County, Florida

Parcel Id No.: 20-21-25-1303-000-00200; Alt. Key 3818780 (the "Property").

# EXHIBIT B



**CURRENT FUTURE LAND USE**  
**LAKE COUNTY INDUSTRIAL**

**LEGEND**

LAST AMENDED: JAN 15, 2020

- Municipal Area
- Property Delineation
- Future Planning Area
- Water Body
- Swamp/Marsh Area
- County Road
- State Road
- US Highway
- Turnpike

**Future Landuse Categories**

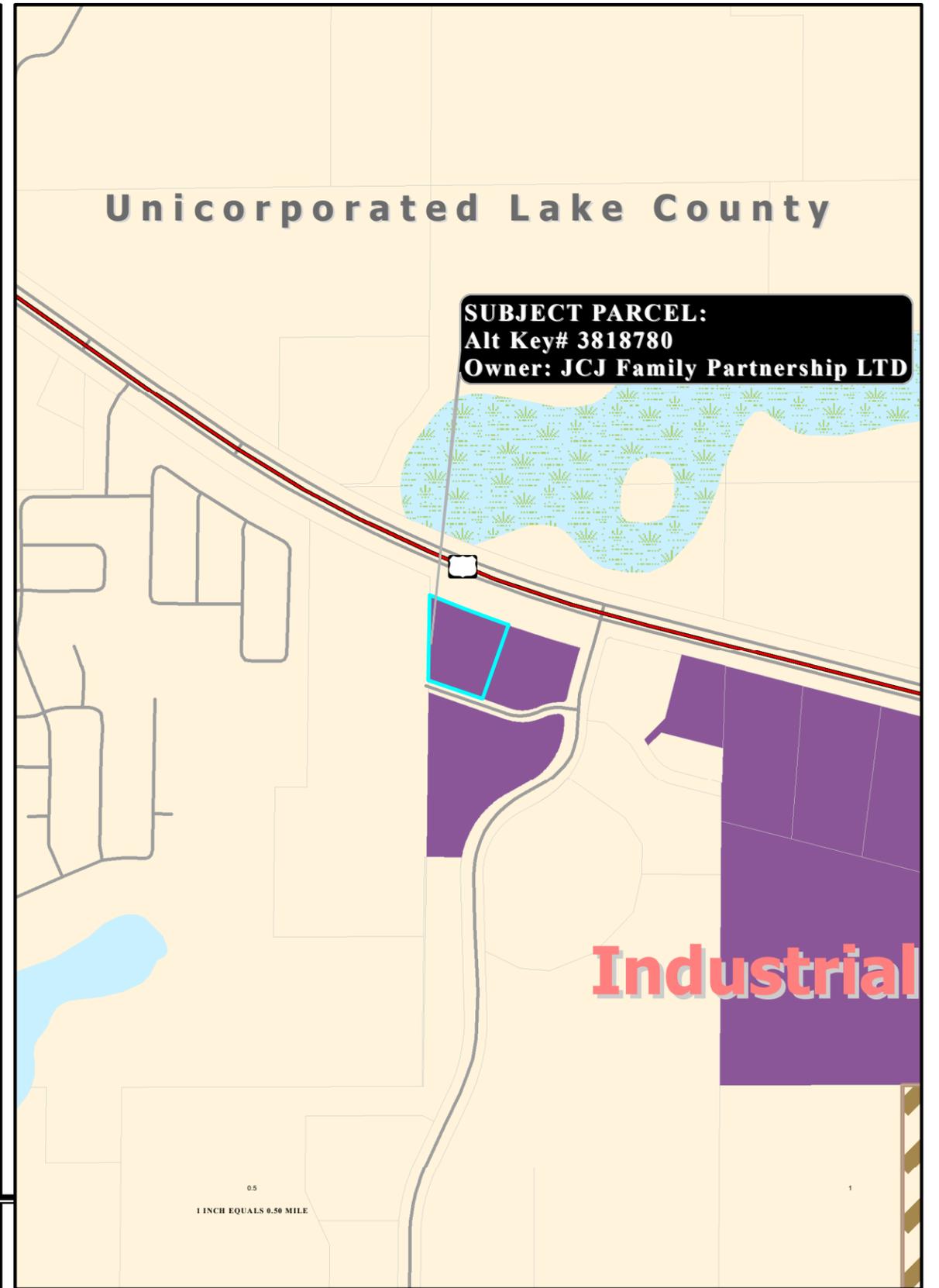
- Agriculture (AG)
- Recreation & Open Space (REC)
- Conservation (CON)
- Green Swamp Commercial (GSC)
- Office/Commerical (COMM)
- Central Business District (CBD)
- Green Swamp Single Family Low Density (GSSFLD)
- Green Swamp Single Family Rural (GSSFRD)
- Mixed Use (MU)
- North Workplace Development (NWD)
- Single Family Low Density (SFLD)
- Single Family Medium Density (SFMD)
- Medium Density Residential (MDR)
- High Density Residential (HDR)
- Industrial (IND)
- Public/Institutional (P/I)
- Lake County Heavy Industrial
- Lake County Regional Office
- Lake County Rural
- Lake County Suburban
- Lake County Urban Expansion
- Lake County Urban Low Density
- Lake County Urban Medium Density

**DATA SOURCES:**  
City of Groveland Land use designations  
Lake County GIS Department; Planimetrics  
Data Compilation and Map production by the Lake-Sumter Metropolitan Planning Organization.  
This map product was prepared from a Geographic Information System established by the City of Groveland, the Lake-Sumter Metropolitan Planning Organization, and Lake County Board of County Commissioners.  
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**1 INCH EQUALS 0.50 MILE**



**PROPOSED FUTURE LAND USE**  
**INDUSTRIAL**

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V.J. OLENO  
REZONING

# ATTACHMENT 1



**AGENDA ITEM**

**MEMORANDUM**

TO: PLANNING & ZONING BOARD MEMBERS

VIA: TIM MASLOW, COMMUNITY DEVELOPMENT DIRECTOR

FROM: DEWAYNE JONES, PLANNER I

SUBJECT: RECOMMENDATION ON ORDINANCE 2020-07 –  
V.J. OLENO REZONING

DATE: MARCH 5, 2020

**GENERAL SUMMARY/BACKGROUND:**

City administration received an application from applicant Knight Engineering Services Inc., representing property owner JCJ Family Partnership LTD, requesting a rezoning of a 2.49 +/- acre parcel, generally located on the west side of Independence Boulevard, in the Christopher C. Ford Commerce Park. The applicant is requesting a rezoning from Lake County Industrial to City of Groveland M-2 Heavy Industrial. The subject property is currently vacant.

The tables below summarizes the proposed development standards for the M-2-Heavy Industrial project.

<b>Development Program</b>
<b>Land Use</b>
<b>Industrial</b>

<b>M-2 Heavy Industrial Development Standards</b>	
<b>Standard</b>	<b>Total</b>
Min. Lot Size	12,500 sq. ft.
Max. Impervious Coverage	70%
Max. Height	50 ft.
Max. F.A.R.	1.0
Setbacks	
Public St. or Easement for ingress/egress	50 ft.
Any Zoning District other than M-2	50 ft.
Front/Rear	50 ft.



**ORDINANCE 2020-07**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GROVELAND, COUNTY OF LAKE, STATE OF FLORIDA, TO CHANGE THE ZONING FROM LAKE COUNTY INDUSTRIAL TO CITY OF GROVELAND M-2 HEAVY INDUSTRIAL DISTRICT FOR THE HEREIN DESCRIBED PROPERTY OWNED BY JCJ FAMILY PARTNERSHIP LTD AND LOCATED ON THE WEST SIDE OF INDEPENDENCE BOULEVARD IN THE CHRISTOPHER C. FORD COMMERCE PARK; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP AS HEREIN PROVIDED AFTER THE PASSAGE OF THIS ORDINANCE; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HERewith; PROVIDING FOR SCRIVENER'S ERRORS, AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Thomas Knight, Knight Engineering Services, Inc. on behalf of the owner JCJ Family Partnership, Ltd requested a rezoning from Lake County Industrial to City of Groveland M-2 Heavy Industrial District; and

**WHEREAS**, the subject properties consist of 2.49 +/- acres located on the west side of Independence Boulevard in the Christopher C. Ford Commerce Park, and is more particularly described herein; and

**WHEREAS**, the property has a future land use designation of Industrial as shown on the City of Groveland Comprehensive Plan Future Land Use Map; and

**WHEREAS**, the proposed zoning is consistent with the future land use designation.

**WHEREAS**, the City of Groveland Planning and Zoning Board recommended approval of a change in the use of the Property;

**WHEREAS**, the City has held such public hearing and the records of the City provide that the owners of the land affected have been notified as required by law

**NOW, THEREFORE**, BE IT ORDAINED by the City Council of the City of Groveland, Florida, as follows:

**Section 1: Purpose and Intent.**

That the zoning classification of the following described property, being situated in the City of Groveland, Florida, shall be hereafter be designated:

**City of Groveland M-2 Heavy Industrial**

See attached legal description attached hereto as **Exhibit A**.

Parcel Id No.: 20-21-25-1303-000-00200; Alt. Key 3818780 (the "Property").

The Property is more particularly depicted in **Exhibit B** attached hereto and incorporated herein.

**Section 2: Zoning Classification.**

That the Property shall be designated as Groveland M-2 Heavy Industrial District in accordance with Land Development Code of the City of Groveland, Florida.

**Section 3: Consistent with Comprehensive Plan.**

That the zoning classification is consistent with the Comprehensive Plan of the City of Groveland, Florida.

**Section 4: Official Zoning Map.**

That the City Manager, or designee, is hereby directed to amend, alter, and implement the official zoning maps of the City of Groveland, Florida, to include said designation consistent with this Ordinance.

**Section 5: Severability.**

That if any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

**Section 6. Scrivener's Errors.** Scrivener's errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

**Section 7: Conflict.**

That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section 8: Effective Date.**

This Ordinance shall become effective immediately upon its approval and adoption by the City Council of the City of Groveland.

PASSED AND ORDAINED in regular session of the City Council of the City of Groveland, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

---

Evelyn Wilson, Mayor  
City of Groveland, Florida

Attest:

---

Virginia Wright, City Clerk



Approved as to form and legality:

---

Anita Geraci-Carver, City Attorney

First Reading \_\_\_\_\_

Second Reading \_\_\_\_\_

Council Member \_\_\_\_\_ moved the passage and adoption of the above and foregoing Ordinance. Motion was seconded by Council Member \_\_\_\_\_ and upon roll call on the motion the vote was as follows:

	YEA	NAY
Mike Radzik		
Mike Smith		
Dina Sweatt		
Randolph Waite		
Evelyn Wilson		

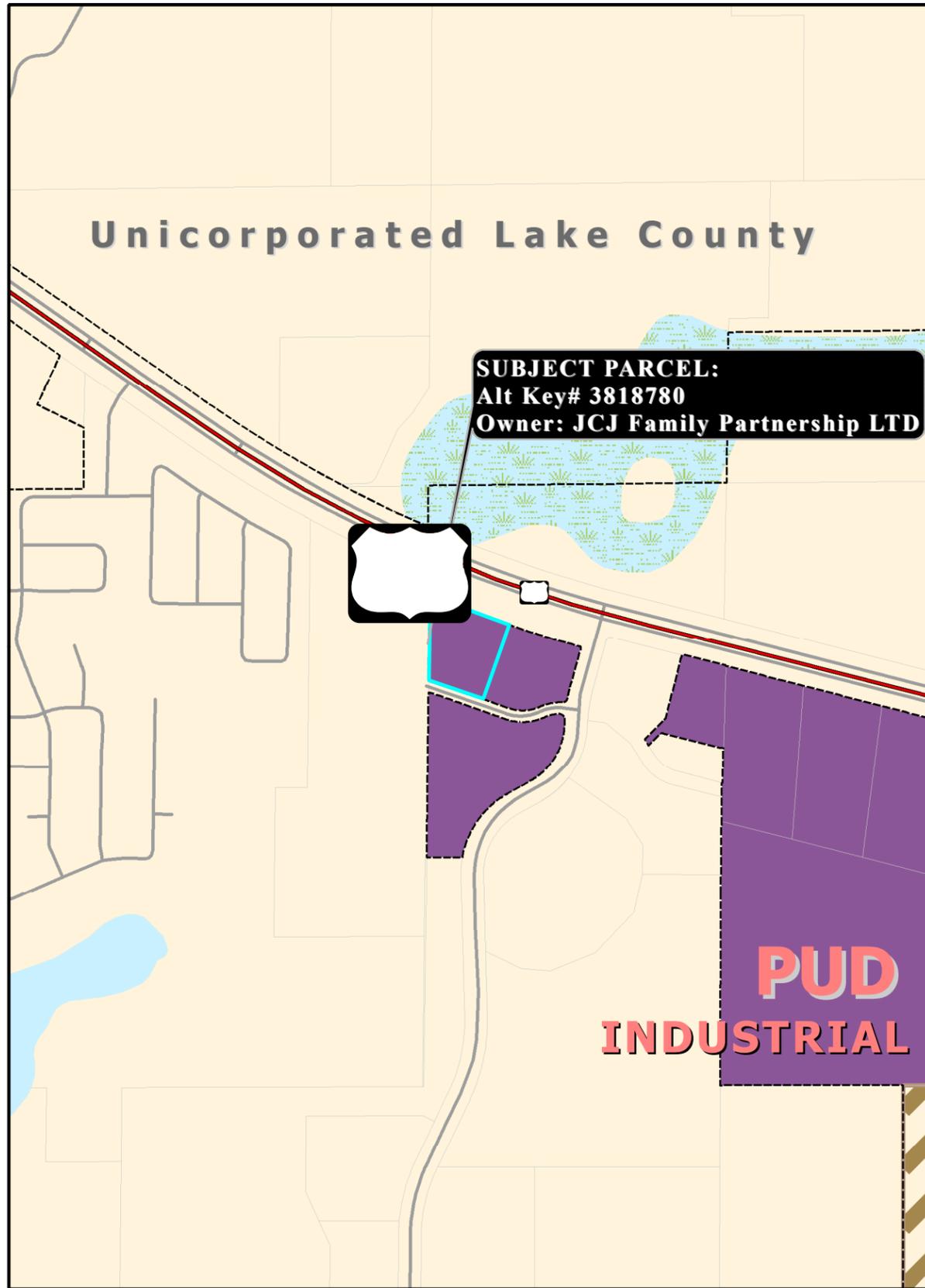
## EXHIBIT A

### **Legal Description:**

Lot 2 of Christopher C. Ford Commerce Park Replat #1, according to the replat thereof as recorded in Plat Book 49, Page 85, Public Records of Lake County, Florida

Parcel Id No.: 20-21-25-1303-000-00200; Alt. Key 3818780 (the "Property").

# EXHIBIT B



**CURRENT ZONING**  
**LAKE COUNTY INDUSTRIAL**

**LEGEND**

LAST AMENDED: JAN 15, 2020

- Municipal Area
- Property Delineation
- Future Planning Area
- Water Body
- Swamp/Marsh Area
- County Road
- State Road
- US Highway
- Turnpike

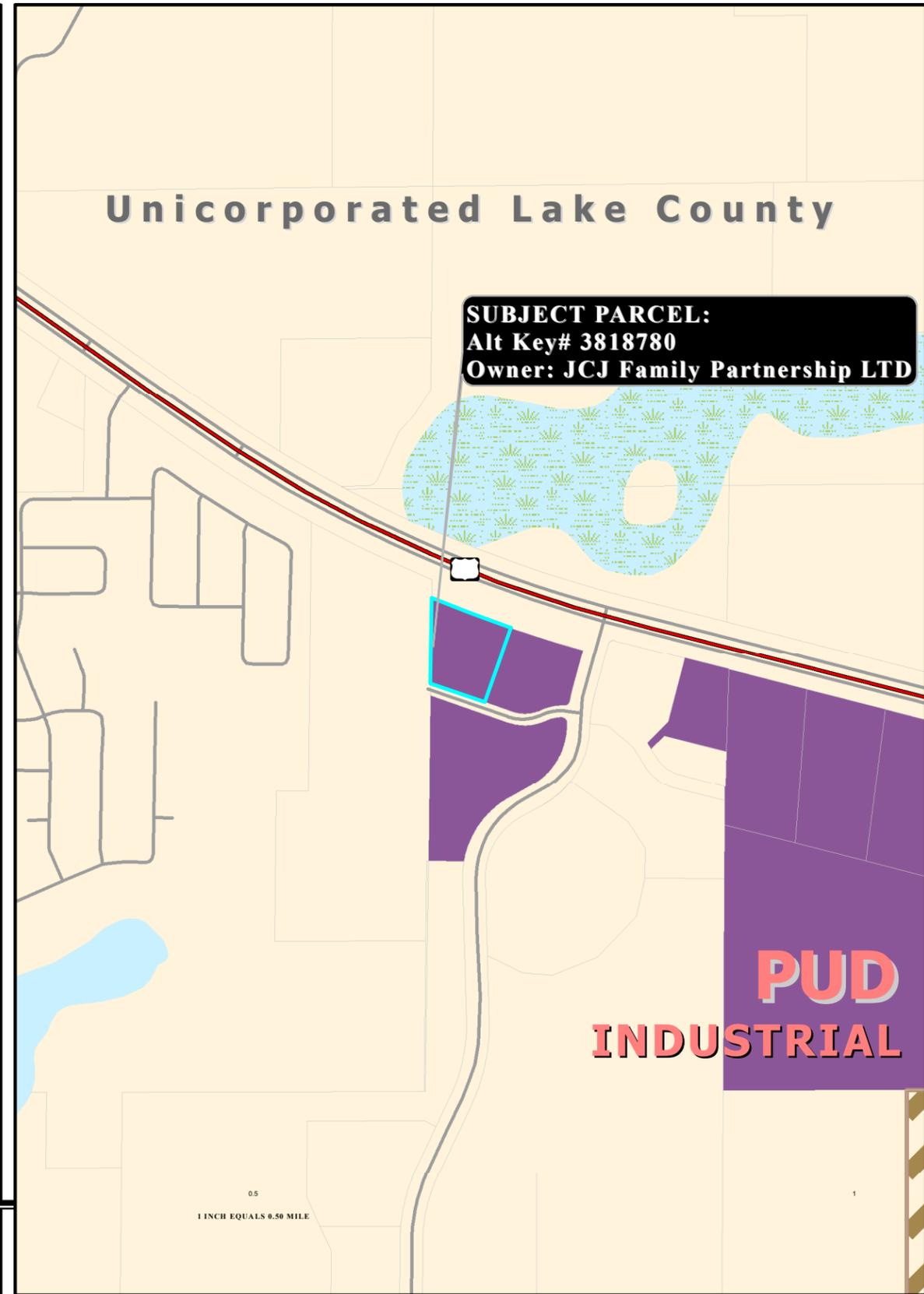
**Zoning Districts**

- AG: Agriculture
- REC: Recreation
- C-SR50: SR50 Commercial
- C-1: Commercial Highway
- C-2: General commercial/central busi
- CBD: Central Business District
- Inst: Institutional
- M-2: Heavy Industrial
- PUD: Planned Unit Development
- GS-1: Green Swamp residential
- R-1: Single-family residential
- R-1A: Single family residential
- R-2: Low density residential
- R-3: Moderate density residential
- Util: Utilities
- ROW: Right of way
- R4: High density residential
- Lake County AG
- Lake County C-2
- Lake County CFD
- Lake County LM
- Lake County R-6
- Lake County R-7
- Lake County PUD

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**PROPOSED ZONING**  
**M-2 HEAVY INDUSTRIAL**

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# OLD BUSINESS

ATTACHMENT 1  
INDIGO LAKES  
PUD AMENDMENT  
2019-55



## AGENDA ITEM

### MEMORANDUM

TO: PLANNING & ZONING BOARD MEMBERS

VIA: TIMOTHY MASLOW, COMMUNITY DEVELOPMENT DIRECTOR

FROM: ANDREW LANDIS, SENIOR PLANNER

SUBJECT: RECOMMENDATION OF APPROVAL ON ORDINANCE 2019-55 –  
INDIGO LAKES PUD AMENDMENT

DATE: MARCH 5, 2020

---

#### **GENERAL SUMMARY/BACKGROUND:**

City Community Development staff received an application from Jimmy Crawford, representing property owner Indigo Land Groveland LLC, requesting to update and amend PUD Ordinance 2006-08-67 affecting 162.76 +/- acres of vacant property with a Future Land Use designation of City of Groveland Mixed Use and a Zoning designation of Planned Unit Development (PUD). The subject property is located on the east side of Villa City Road, west of Lake Lucy in the City of Groveland.

The applicant requests to amend the current PUD to allow for additional single family residential lots with reduced setbacks and changes to other development standards.

#### **BUDGET IMPACT:**

There are no budgetary impacts.

#### **LEGAL NOTE:**

The City Council is authorized pursuant to F. S. 166.041 and Sec. 153-118 of the City's Land Development Code to approve PUD zoning ordinances. The PUD zoning ordinance is consistent with the City's Comprehensive Plan. The PUD allows and provides for deviations from the City's Land Development Code which is permitted with Council approval.

#### **STAFF & ADVISORY RECOMMENDATIONS:**

Community Development Staff recommends approval of Ordinance 2019-55.

At the January 16, 2020 Planning & Zoning Board Meeting, Members voted three (3) to two (2) to deny Ordinance 2019-55.

Some of the primary concerns raised by P&Z Board Members regarding the proposed PUD Amendment include:

- Monotonous housing with no diversity of housing types (single family only)
- Narrow lot widths of 40 and 50 feet
- Side yard setbacks of 5 feet
- Front loaded garages that dominate the façades of the homes

The City Council voted unanimously at their February 18, 2020 meeting to send the item back to the Planning & Zoning Board for additional review. The applicant has proposed several changes to the plan in response to Council and Planning Board Member comments and recommendations.

The most significant recent changes include:

- The applicant is offering to donate +/- 4.3 hilltop acres to the City for a public park located at the old mansion site
- The applicant would retain the +/- six (6) acres on the northern edge of the property previously offered to the City for parkland for ten (10) development lots
- The City would give the applicant +/- two (2) acres of City-owned land located at the southwest corner of the project for an additional thirteen (13) development lots
- The applicant has extended the commercial core to the municipal park to allow for additional mixed use development
- The applicant proposes attached single family units fronting the municipal park, with rear loaded garages accessed by alleys
- The applicant has relocated the community pool and tot lot to a more central location in the residential-only portion of the neighborhood

### **ATTACHMENTS:**

#### **1. Attachment 1**

- **PUD Amendment Ordinance 2019-55, legal description (Exhibit A),  
Regulating Plan (Exhibit B), and Conceptual Zoning Map (Exhibit C)**

#### **2. Attachment 2**

- **Application Submittal**

#### **3. Attachment 3**

- **Public Notice Support Documentation**



# Indigo Lakes Village Planned Unit Development (PUD) Code

Draft

## ORDINANCE 2019-55

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GROVELAND, COUNTY OF LAKE, STATE OF FLORIDA, AMENDING THE CITY OF GROVELAND PLANNED UNIT DEVELOPMENT (PUD) FOR THE HEREIN DESCRIBED PROPERTY WITHIN THE CITY OF GROVELAND, FLORIDA, OWNED BY INDIGO LAND GROVELAND LLC, AND LOCATED AT 17200 VILLA CITY ROAD, GROVELAND, LAKE COUNTY, FLORIDA; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP AS HEREIN PROVIDED AFTER THE PASSAGE OF THIS ORDINANCE; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; AND PROVIDING FOR AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Groveland, Florida, as follows:

### Section 1: Purpose and Intent.

That the zoning classification of the following described property, being situated in the City of Groveland, Florida, shall hereafter be designated as PUD as defined in the Groveland Land Development Regulations.

### Section 2: Legal Description.

The property that is subject to this Ordinance (the "Property") consists of approximately 155 gross acres being more particularly described in **Exhibit "A"** attached hereto and incorporated herein.

### Section 3: Zoning Classification.

That the property being so designated as PUD is subject to the following terms and conditions:

- a. **General.** Development of this project shall be governed by the contents of this document and applicable sections of the City of Groveland Land Development Regulations and Code of Ordinances and all other applicable rules, regulations and ordinances of the City.

Where in conflict, the terms of this document shall take precedence over the City of Groveland Land Development Regulations and Code of Ordinances, the Conceptual Development Plan, and all other applicable rules, regulations and ordinances of the City.

Unless otherwise noted, the definition of all terms shall be the same as the definitions set forth in the City of Groveland Land Development Regulations.

- b. **Purpose.** The purpose of this PUD is to:

1. Create an attractive and high-quality environment which is compatible with the scale and character of the local environment;
2. Develop a residential area that is safe, comfortable and attractive to pedestrians;
3. Create a community with direct visual and physical access to open land, with amenities in the form of community open space, and with a strong community identity;
4. Provide a network of open space;
5. Provide for a diversity of lot sizes and housing choices to accommodate a variety of age and income groups and residential preferences, so that the City's population diversity may be maintained;
6. Provide connectivity and a safe and comfortable transportation design for residents including pedestrian and bicycle trails, transit and vehicular roads;
7. Foster the development of complete communities that allow residents to meet their daily needs within walking distance; and
8. Retain a significant portion of the land within the project as Conservation lands.



# Indigo Lakes Village PUD: Land Uses

The following text and use table outlines permitted uses for the Edge, Center, and Core sub-zones within the Indigo Lakes PUD (see **Exhibit C**)

Table U1 Uses by Zone

USES	EDGE	CENTER	CORE
<b>RESIDENTIAL &amp; HOSPITALITY</b>			
Multifamily Residential			P
Townhomes/Single Family Attached		P	P
Single Family Detached	P	P	
Live/Work Units			P
Accessory Dwelling Unit	P	P	
Short Term Rental			P
Hotel, Resort & Inn			P
Residential Care			P
<b>CIVIC</b>			
Assembly			P
Hospital & Clinic			P
Library/Museum/Post Office			P
Law Enforcement & Fire			P
School			P
<b>RETAIL &amp; SERVICE</b>			
Neighborhood Retail			P
General Retail			
Craftsman Retail			
Neighborhood Service			P
General Service			
<b>OFFICE</b>			
Office			P
Home Occupation			P
<b>AMUSEMENT</b>			
Recreation Indoor			P
Recreation Outdoor			
<b>INDUSTRIAL</b>			
Light Industrial			
Heavy Industrial			

**Key**  
P Permitted

- c. **Land Uses.** Allowed uses within the PUD include single-family detached residential uses, Village Core Mixed Use, and related accessory uses, including, but not limited to, recreational uses and facilities. Institutional/public facility uses shall also be allowed where Village Core Mixed uses are allowed. The project shall be developed substantially in accordance with the attached **Exhibit "B"**, which was last revised on January 15, 2020, by Knight Engineering Services and is made an integral part of this PUD. In addition, uses allowed in the Agricultural zoning category shall be allowed in areas within the PUD that have not been developed for another allowed use. Mobile or manufactured homes shall be prohibited.  
The approximate acreage devoted to each land use shall be generally as follows:
- d. **Residential.** The PUD shall not exceed 452 single family detached residential units.
- e. **Village Core Mixed Use.** An area of 2.97 +/- acres is identified Village Core Mixed Use. Within this area a maximum of 60,000 square feet of non-residential development will be permitted.

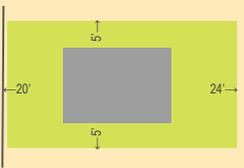
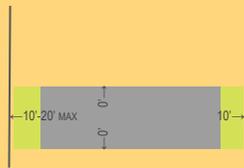
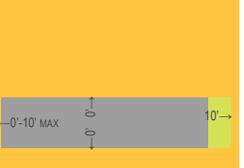
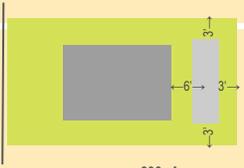
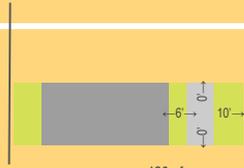
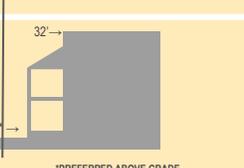
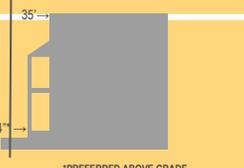
Use	Acres
Residential	65.85 +/-
Village Core Mixed Use	2.97 +/-
Upland/Usable Open Space	26.46 +/-
Wetland/Lake Open Space	16.27 +/-
Total Open Space <sup>1</sup>	42.73 +/-
Amenities /Public Facilities	4.76 +/-
Road Right-of-Way	22.14 +/-

<sup>1</sup>Land dedicated as Public Park shall count as Open Space. Such Public Park shall be dedicated prior to the first record final plat is recorded for the Property.



# Indigo Lakes Village PUD: Sub-zones

The following table and graphics outline standards for the Edge, Center, and Core zoning districts within the Indigo Lakes Village PUD.

	EDGE RESIDENTIAL	CENTER RESIDENTIAL	CORE MIXED USE	
LOT	 MIN. WIDTH: 50' MAX. COVERAGE: 75%	 WIDTH: 20'-40' MAX. COVERAGE: 80%	 MIN. WIDTH: 15' MAX. COVERAGE: 90%	<sup>1</sup> The building façade shall extend along the front yard line a minimum of the designated percentage of the lot width. <sup>2</sup> HVAC and other mechanical and structural components shall not encroach the side setbacks. <sup>3</sup> Side setbacks along corner lots shall be a minimum of 10' for Edge and Center. <sup>4</sup> Detached homes shall have a minimum 5' side setback and 10' for lots wider than 60'. <sup>5</sup> Max. Building width for Center and Core is 100'. <sup>6</sup> Max. Lot Coverage for lots wider than 60' is 60%.
PORCH & BALCONY	 MIN. DEPTH: 8' MIN. WIDTH: 50%	 MIN. DEPTH: 6' MIN. WIDTH: 40%	 MIN. DEPTH: 12' MIN. WIDTH: 100%	<sup>1</sup> The front porch or balcony shall meet the designated minimum depth and width. <sup>2</sup> Porches and balconies shall not be screened or enclosed for non-residential uses. <sup>3</sup> Arcades, colonnades, and awnings may serve as porches for the Core and Center zones. <sup>4</sup> Primary entrances shall face the primary street.
OUTBUILDINGS	 MAX. FOOTPRINT: 800 sf	 MAX. FOOTPRINT: 420 sf	N/A	<sup>1</sup> Outbuildings shall not exceed 22' height. <sup>2</sup> Outbuildings shall use similar materials and architectural details to the principal building.
PARKING	 MIN. SPACES: 2	 MIN. SPACES: 2	SATISFIED BY ON-STREET PARKING	<sup>1</sup> On-site parking shall be accessed from the alley for the core and center zones. If an alley is not provided, each lot may have no more than one ingress/egress from the primary street. <sup>2</sup> A garage is considered an outbuilding and shall follow the specifications for outbuildings.
HEIGHT	 *PREFERRED ABOVE GRADE	 *PREFERRED ABOVE GRADE		<sup>1</sup> Buildings or other structures shall not exceed the maximum height depicted in the graphic. <sup>2</sup> Towers or chimneys with less than a 200 SF footprint may exceed the building height by 10'.
MAX NET DENSITY	8 du/acre	12 du/acre	24 du/acre	

The "EDGE" zone is suitable for larger homes on larger lots with private yards, garages, and guest units. Lake adjacent lots have a minimum 80' lot width.

The "CENTER" zone features a mix of detached and attached housing types on smaller lots.

The "CORE" zone is comprised of building types massed together to create a main street atmosphere with retail at the ground floor and residential or office above.



## Indigo Lakes Village PUD: Residential Standards

The following text, tables and graphics outline standards for single family detached residential homes within the Indigo Lakes PUD

### f. Single Family Residential Setbacks

The following minimum setbacks shall apply to single-family detached units and to the perimeter of multi-family residential developments:

**Front:** Any part of the structure (including but not limited to dwelling, storage, side-loaded garage and porches, but excluding front-loading garage): 10 feet

**Front Loaded Garage:** 25 feet

**Rear:** 20 feet for principal residential structure and 5 feet for garages, pools, pool decks, and patios. If any pool, pool deck or patio, is located closer than 20 feet from the rear property line, landscaping shall be provided along the rear property line to buffer adjacent properties.

**Side:** Detached unit: 5 feet, except 10 feet for corner lots as measured to the right-of-way line of the street side. An open space tract may be located in said 10 feet setback, as generally depicted on the Conceptual Development Plan.

Attached unit: 0 feet between units, 10 feet between buildings

**g. Lot Size:** A range of lot sizes shall be provided to create variety and offer opportunity for different income households. The minimum lot size shall be 3,600 square feet for single family detached residential lots. Lot size diversity within blocks is encouraged.

**h. Dwelling Size:** The minimum dwelling size shall be 1,000 square feet for all single-family detached units based on heated/air-conditioned space under roof exclusive of garages, carports, and porches.

**i. Lot Width:** In accordance with the principle of providing diversity within the development a variety of lot widths shall be permitted in the range of 20-85 feet. Lot width diversity within blocks is encouraged. However, for any irregularly shaped (e.g. pie shaped) single-family detached lots, the minimum lot width may be reduced to 30 feet at the building line with a minimum street frontage of 20 feet.

**j. Lot Coverage:** Single-family detached lots shall have a maximum lot coverage of 75% to include principal dwelling, all paved areas and swimming pool decks. The impervious surface area for the overall PUD shall not exceed 50%.

**k. Height of Structures:** No single family detached residential structure shall exceed 2½ stories or 35 feet in height.

**l. Building Design.** Building design will be in accordance with Chapter 137, Article II: Architectural Standards of the City's Land Development Regulations as the same exists on the Effective Date of this ordinance, except that deviations from the following sections are granted for the PUD: Section 137-76(b) and 145-47(d)(2) (front porches); and Sections 137-77 and 145- 47(d)(3) (garages). The deviations are based on the additional open space and recreational amenities which have been incorporated into the project, as well as the following additional design standards that shall apply to the residential component of the PUD:

1. A diversity of housing styles, shapes and materials will be required in order to create variety in the streetscape.
2. The houses' architectural styles shall be either Florida vernacular, craftsman, or a current interpretation of these styles using architectural principles such as massing, human scale, rhythm, and proportion.
3. House facades shall be varied and articulated to provide visual interest to pedestrians along the street frontage. Architectural accents characteristic of the approved styles are strongly encouraged on facades. Except for lots narrower than 50 feet wide, no more than fifty percent (50%) of the front façade of a house shall consist of unarticulated block wall or garage door.
4. All homes shall have carriage style garage doors.
5. All homes shall have paver style driveways.
6. Two-story homes shall have lap-style siding, shake-style siding, board and batten, or similar materials on the second story.
7. All floor plans offered by homebuilders shall include an option whereby homeowners may purchase a front porch. Porches on homes that are less than 32 feet wide may vary from dimensional guidelines contained herein due to space limitations.
8. Front-facing gables on one-story houses must be clad with siding, trim, and an accent.
9. All floor plans shall include at least one option with front facing gables.
10. For homes built on lots narrower than 50 feet, garages without a second story above them shall include a gable end roof.



## Indigo Lakes Village PUD: Residential Standards

The following text, tables and graphics outline standards for single family detached residential homes within the Indigo Lakes PUD

11. Variations in color shall be required in order to avoid the same principal color on houses next to each other.
12. To ensure visual richness, roofs of the main body of all homes shall be hip, gable or other form of pitched roof. Flat roofs on the main body of a home shall be prohibited. Roof materials shall be either patterned shingles or metal panel.
13. Window trim, shutters and/or banding shall be used on the front facade of all residential units. Articulation of side street facades for corner lots shall also be required. On each level or part of the street facing facades, rows of windows shall be spaced evenly and contain consistent sizes and shapes to create visual harmony.
14. To avoid monotony, the same home plan and elevation will not be duplicated directly across the street, on either side of, or diagonally from a particular plan and elevation.
15. Different house sizes and styles shall be integrated architecturally in order to give the development a harmonious appearance.
16. Community Landscaping shall be incorporated into the overall design as a means of linking the development areas with the open spaces.
17. Individual Lot landscaping shall reinforce and complement the architectural style. Trees and palms shall be used to frame the street facing entry features and façade elements. Evergreen shrubs and understory trees shall be used to mask utilities and blank areas of side facades visible from the street.
18. Entry/monument signage for the main and secondary project entrances shall feature prominent columns with stone, stucco or similar materials, the project name, references to Groveland and/or the City logo and a decorative fence, as generally depicted on the Conceptual Development Plan.
19. The Community Development Director may grant deviations for design restrictions contained herein for home designs which meet the intent of this paragraph but vary slightly from the restrictions.

**City Park/Surplus City Parcel A** 4.3± acre tract, in the location shown on the Concept Plan, shall be contributed to the City, at no cost to City, for use as a municipal park. The developer of the Property shall have the right, but not the obligation, to construct park improvements according to plans (“Park Improvement Plans”) that are reviewed and approved by City staff. If the developer opts to construct park improvements, the park shall be conveyed to the City within thirty (30) days of completion of construction. The park shall be conveyed to the City within thirty (30) days of approval of Park Improvement Plans if the City or a third party is constructing the park. If Developer opts to construct park improvements, it shall be entitled to Parks and Recreation Impact Fee Credits in an amount equal to the cost of design and construction of park improvements, including, without limitation, costs to design and build retaining walls related to City-required tree save areas or grading restrictions within the park.

A City-owned 2.01± acre tract (Lake County Parcel 12-22-24-0021-00A-00000) in the southwest corner of the Property (the “Triangle Parcel”), shall be conveyed by City to the developer, at no cost to the developer, for use as a drainage retention area that will handle stormwater from, among other areas, the City Park. This conveyance shall occur upon Developer’s request, but not sooner than thirty (30) days after approval of construction plans that include the Triangle Parcel.

The City shall maintain naming rights to the municipal hilltop park.



## Indigo Lakes Village PUD: Site Development

The following text, tables, and graphics outline site development standards within the Indigo Lakes PUD.

- m. **Recreation and Open Space.** A minimum twenty percent (20%) of the overall Property will be open space. The open space shall include, but not be limited to, park lands, project buffer areas, drainage areas, retention areas and landscaped areas. Up to half of the required open space may be met with wetland preservation or natural water bodies exclusive of Lake Lucy. At least half of the required open space shall be met with a mix of open space types as defined in this code.
- n. **Waterfront and Wetlands Buffer Requirement.** No development shall be allowed within jurisdictional wetlands on the property without the proper mitigation and permits approved by the St. Johns River Water Management District. No development except passive recreation, as described in Policy 1.6.3 of the Conservation Element of the Comprehensive Plan, lake access and maintenance, as authorized by the St. Johns River Water Management District, shall be permitted in wetland/lake areas.
- A minimum building setback and upland buffer of 25 feet shall be maintained adjacent to the wetland jurisdiction line, per City of Groveland requirements. No improvements having an impervious surface (with the exception of wet retention areas) may be located within the upland buffer of 50 feet adjacent to the wetland jurisdiction line. Buffer requirements of the St. Johns River Water Management District shall also be maintained adjacent to the wetland jurisdiction line. If required by the St. Johns River Water Management District, the District buffer shall be within a deeded conservation easement.
- o. **Boat Docks and Prohibition on a Community Boat Ramp Allowing Motorized Watercraft.** Communal docks, parks, observation areas and non-motorized canoe/kayak launches shall be allowed on Lake Lucy. A communal boat ramp allowing motorized watercraft is prohibited. Residents may seek permits for private individual docks. No overnight mooring of boats or other watercraft shall be allowed on any communal dock in the project.
- p. **Potable Water and Wastewater.** The project shall connect to the City potable water system and the City sanitary sewer system prior to any certificate of occupancy being issued for any structure (except temporary construction uses) on the project. Reuse lines shall be installed for irrigation of residential lots and common areas; however, until such time as reuse service becomes available, irrigation of residential lots and common areas may be provided by an on-site irrigation system, wells or by potable water. If the City requires upsizing of utilities beyond that necessary to serve the project, the City will reimburse the Developer for the cost of any upsizing pursuant to a utility agreement with the Developer.
- q. **Solid Waste.** Solid Waste collection shall be pursuant to City regulations, as amended.
- r. **Drainage.** The maintenance of the drainage system shall be the responsibility of the Homeowners Association(s) and/or CDD if established. All stormwater ponds and treatment facilities shall be unfenced.
- s. **Transportation.** There shall be a minimum of four (4) ingress and egress points for the project. These shall be in the approximate locations shown on the Conceptual Development Plan. Streets within the project shall have a minimum fifty-foot (50') right-of-way with a minimum twenty-four foot (24') pavement width and two-foot (2') curb and gutter on each side. Provision shall be made for underground utilities.
- All portions of the development should be accessible by a direct, convenient, attractive, safe, and comfortable system of pedestrian facilities, and the development' should provide appropriate pedestrian amenities. Construction access shall be in accordance with the permitting requirements of the City, Lake County and Florida Department of Transportation, as applicable, and shall also comply with National Pollutant Discharge Elimination System (NPDES) permit requirements.
- The use of golf carts on internal streets shall be allowed, if allowed by the homeowner's association governing the Property. No golf cart use shall be allowed on Villa City Road or external to the Property.
- A twenty-five percent (25%) reduction in parking requirements shall be allowed for the Village Core Mixed Use portions of the PUD, due to the emphasis on community commercial and pedestrian, golf cart and bicycle access. Golf cart parking may be allowed, but shall not count toward the vehicular parking requirements.
- A fifty percent (50%) increase shall be required in the bicycle parking/storage facilities required for the commercial portions of the PUD. School bus stops out of the traffic flow areas shall be provided, the location and standards for which shall be coordinated with the Lake County School Board.

## Indigo Lakes Village PUD: Site Development

The following text, tables, and graphics outline site development standards within the Indigo Lakes PUD.

- t. **Streets, Sidewalks, and Trails.** The development shall have a connected street system that serves vehicles, pedestrians and bicycles which connects to recreation facilities and adjacent residential community areas. A minimum of a five-foot (5') sidewalk shall be constructed along both sides of all streets within the project. All streets shall be constructed to the City of Groveland standards and shall be public, dedicated to the City, non-gated streets. A minimum of two (2) off-street parking spaces shall be required for each single-family detached residential unit constructed in the project.

The City agrees to vacate the existing right-of-way within the boundaries of the development prior to/or concurrent with any new right-of-way dedication or platting.

A typical street layout is illustrated as Exhibit B.

Curb radii shall follow FDOT Green Book Chapter 19 standards.

A pedestrian trail that measures 7,000+/- linear feet shall be constructed along Lake Lucy as illustrated in Exhibit B.

A minimum 8' wide multi-purpose path shall be constructed along the project boundary with Villa City Road. Such multi-purpose path may be located in the right-of-way with the approval of Lake County and/or within the twenty-nine (29) foot wide landscape buffer.

Street trees shall be planted within the right-of-way of all streets every 40 feet on center, except as may otherwise be approved by City staff. Such trees shall be planted with root barriers so as not to interfere with utility lines and comply with the City's Landscape Regulations for trees in the right of-way.

- u. **Landscape Buffers.** Landscape buffers within the project shall comply with City Land Development Regulations (including for installation, irrigation and plant materials), and a minimum twenty-nine (29) foot wide landscape buffer shall be provided along those areas where the perimeter of the PUD abuts Villa City Road.

Additionally, the community will feature native landscaping within the common areas.

Landscaping along rear lot lines shall be encouraged, to be installed when the home is constructed on each lot, and shall be required if a pool, patio, or pool deck is located in the rear yard or added by a resident after the home is occupied.

- w. **Tree Replacement.** Tree replacement within the project shall comply with City Land Development Regulations except as modified herein. Owner shall locate and map all protected trees

8" or above in diameter at breast height or 54" above grade. Owner is not required to locate, map or protect trees less than 8" diameter at breast height or 54" above grade, whether on the protected list or not. Protected trees of 36" or above in diameter at breast height or 54" above grade must be preserved unless such tree is located within the area where any building, roadway, pavement, retention pond or other improvement is proposed to be constructed, or where a grade change necessary to proposed development of the site will be made which is too severe for the tree to survive, or within a five-foot offset of the footprint for the residence.

If after such removal the lot will not contain the minimum number of trees required for the lot by the City Land Development Regulations, then owner shall be required to plant the amount of substitute trees required to comply with such regulations on such lot or within the common areas. The owner will be required to replace removed protected trees inch-for inch of removed tree diameter at breast height with replacement trees of the types listed in Sec. 133-38 or of any other variety approved by the Community Development Director. If the planting will take place on the lot, then such planting is to be performed prior to issuance of a certificate of occupancy. If the planting will take place within the common areas, then such planting is to be performed prior to the city issuing a certificate of completion for the applicable phase of the subdivision or city accepting the conveyance of infrastructure improvements and real property for such phase, whichever occurs last; however, if neither can be accomplished for a reason acceptable to city, owner shall post a bond in an amount acceptable to city and for a duration acceptable to city until such trees are planted and viable.

Lots up to 6,000 square feet in size shall contain no less than 2 protected trees, neither of which may include a street tree. Lots over 6,000 square feet in size shall contain, at a minimum, the number of protected trees required for such lot(s) by Sec. 133-127(a)(l). The following shall not count as a protected tree: trees listed in Sec. 117-21 of the City Land Development Regulations; trees associated with a bona fide agriculture operation; and trees less than 8" in diameter at breast height or 54" above grade.

Canopy trees with a diameter of 12" or greater within buffer adjacent to Villa City Rd. or at municipal hilltop park site are not to be removed or disturbed under any circumstance without approval from City Council.

## Indigo Lakes Village PUD: Site Development

The following text, tables, and graphics outline site development standards within the Indigo Lakes PUD.

- x. **Lighting.** Decorative street lighting shall be installed at every intersection and at intervals of 300 feet, or as approved by City Staff. Street lighting shall be installed by the Owner/Developer. In accordance with Dark Sky standards, full cutoff lighting fixtures that are fully shielded and produce downward directional lighting shall be used for streetlights in order to minimize glare, overhead sky glow and light trespass. The streetlights shall be owned and maintained by the homeowners' association or CDD to the extent such responsibilities are not assumed by the electric utility provider. In the event the street lighting fixtures required by this paragraph are not authorized by the electric utility provider, then the developer shall coordinate with City staff to select an alternate fixture that is offered by the electric utility provider and most closely reflects the intent of this paragraph. A lighting/photometric plan shall be submitted to the City as part of an application for construction plan approval.
- y. **Utilities.** All utilities shall be underground and may be constructed in phases, in accordance with a phasing plan approved by City staff City acknowledges it has sufficient capacity to service the project with potable water and sanitary sewer service.
- z. **Signage.** Allowed ground signage, monument signage and wayfinding signage for the project is depicted on the Conceptual Development Plan. Additional signage may be approved by City staff in accordance with the City Land Development Regulations.
- aa. **Maintenance of Common Areas.** Maintenance of all common areas within the residential component of the project shall be the responsibility of the Homeowner's Association(s) formed to govern such subdivision and/or a CDD.
- bb. **Community Development District.** The Developer may create a community development district ("CDD") pursuant to Chapter 190, Florida Statutes, in order to provide for the financing, management and control of common areas and infrastructure for all or any part of the project or for any other purpose allowed by law.
- cc. **Impact Fees.** The Developer acknowledges that the City of Groveland has impact fees for water, wastewater, fire, police and recreation, and administrative facilities and that the project shall be subject to such impact fees. Impact fees for the project shall be paid in accordance with the City Land Development Regulations.
- dd. **Uncovered Artifacts During Construction.** Development shall cease construction activities on a development site when unidentifiable artifacts are uncovered during either land preparation or construction. The developer shall notify the City of such potential discovery, and the City and/or developer shall contact the Florida Department of State of such discovery. Construction shall not resume in the affected area until the State has determined the archeological significance of the discovery and the restrictions which shall be imposed on development. Development may continue in other areas of the project which will not impact the site of the discovery.
- ee. **Amendments.** Any substantial deviation from the Conceptual Development Plan, or any deviation from the terms of this Ordinance, shall be approved by the City Council in accordance with the legal procedures to amend zoning ordinances. The following criteria shall be used to identify a substantial deviation to the Conceptual Development Plan: (1) a change which would add a new land use not previously approved by this PUD; (2) a change which would increase the overall density or intensity approved for the Property by this PUD; or (3) a reduction in the number or substantial change in the location of external access points shown on the plan. All other changes to the Conceptual Development Plan, and any modifications to any design or other development standards contained in the Land Development Regulations of the City that may be required to effectuate such changes and are consistent with the City's Comprehensive Plan, shall be considered non-substantial and subject to administrative approval by City staff. In approving a modification to a design or development standard contained in the Land Development Regulations, City staff may impose one or more conditions that are reasonably calculated to mitigate the identifiable land use impacts of the modified standard, if any. For avoidance of doubt, a change to a development standard that is set forth in both the Conceptual Development Plan and in this Ordinance shall require approval by the City Council in accordance with the legal procedures to amend zoning ordinances.
- ff. **Expiration of PUD.** Unless an extension is approved by City Staff, this PUD shall expire if application for construction plan approval is not submitted, from the Effective Date of this Ordinance, or if no infrastructure construction has commenced on the Property within two (2) years from the approval of the construction plans for the project. Any request for extension must be submitted to the City by the applicant prior to the PUD expiring.

# Indigo Lakes Village PUD: General Standards

The following tables and graphics outline community-wide standards for the Indigo Lakes PUD

	Village
Size (acres)	80 - 192
Pedestrian Shed	¼ Mile
Minimum Open Space	20%
Maximum Impervious Surface Area	50%
Transportation Adjacency	Adjacent to 1 Arterial
Minimum Connectivity	1 External Connection Every ¼ Mile of Perimeter
Maximum Block Perimeter	1,800 LF
Minimum Villa City Rd. Buffer	29"



# Indigo Lakes Village PUD: Open Space

The following table and graphics outline standards for the Square, Plaza, Green, Pocket Park, and Greenway within the Indigo Lakes PUD.

Figure OS1

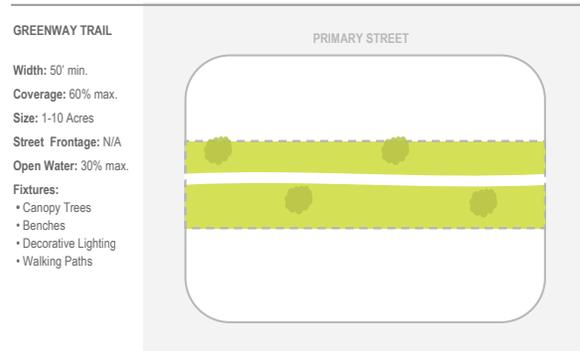
OPEN SPACE PERIMETER



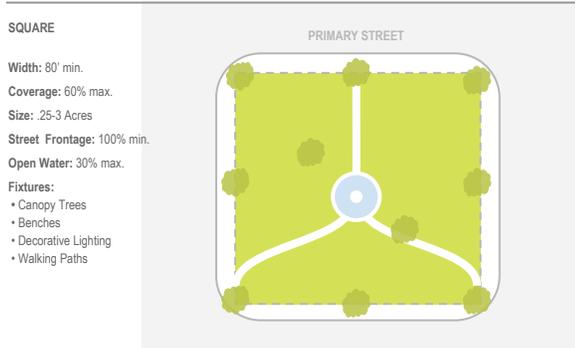
The "GREEN" is partially bordered by building frontages with a landscape consisting of grassy lawns, trees, and walking paths for relaxation and recreational purposes.

Figure OS2

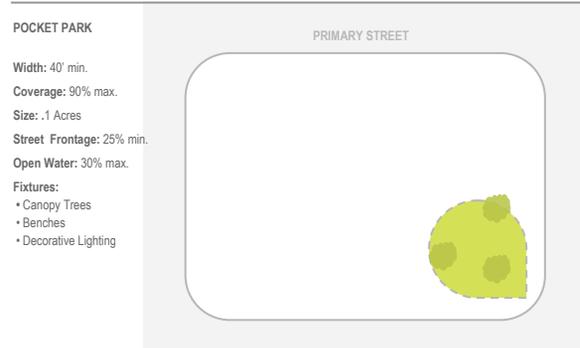
OPEN SPACE PERIMETER



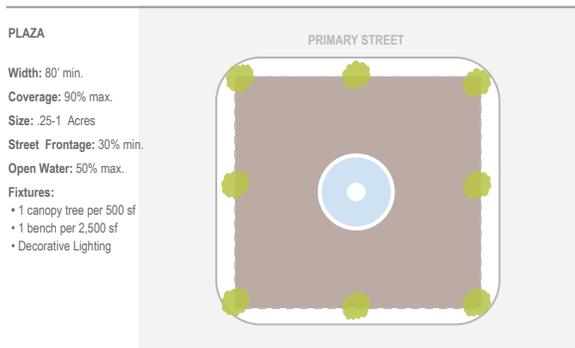
The "GREENWAY TRAIL" is a linear open space that often follows a natural feature, such as a river, stream, or ravine, and connects to other open space types.



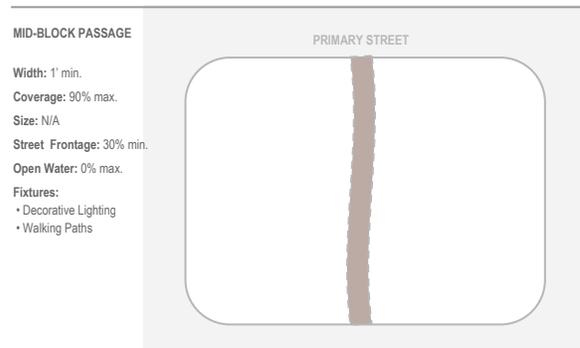
The "SQUARE" is spatially defined by building frontages and consists of walking paths, lawns, and trees for civic, social, and commercial purposes.



The "POCKET PARK" provides small scale open space for recreation and gathering for neighborhood residents within walking distance.



The "PLAZA" is spatially defined by building frontages and consists of mostly paved surfaces and trees for civic, social, and commercial purposes.



The "MID-BLOCK PASSAGE" provides mid-block pedestrian access and activates courtyards, cafes and seating areas not fronting a street type.

# Indigo Lakes Village PUD: Block Configuration

The following standards apply to ensure proper structure and layout of blocks.

## a. Interconnected Street Pattern.

The network of streets within the community shall form an interconnected pattern with multiple intersections and resulting block sizes as designated in the requirements for each Community Type.

1. The arrangement of streets shall provide for the continuation of existing streets from adjoining areas into new developments.
2. Cul-de-sac and dead end streets are prohibited.
3. Streets shall follow natural features rather than interrupting or dead-ending at the feature.
4. Streets shall terminate at either an open space or a building facade.
5. Streets shall be designed as described in the Street Types section.

## b. Block Configuration.

Refer to Figure (B1) for an illustration of Typical Block Elements.

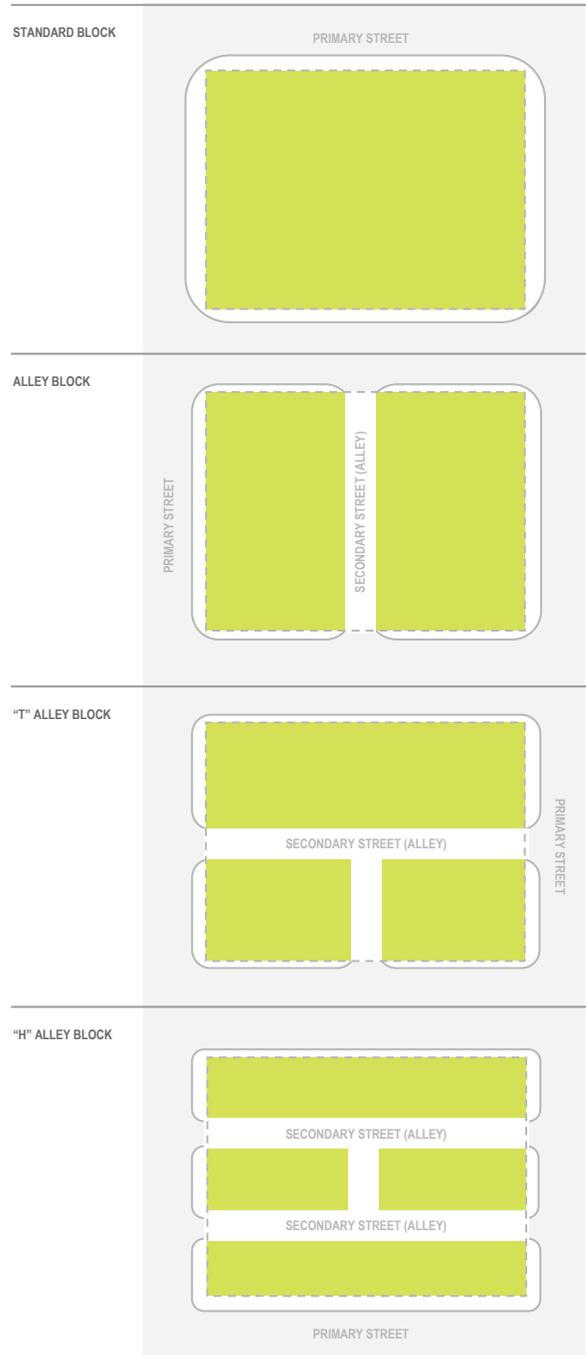
1. The shape of a block shall be generally rectangular, but may vary due to natural features or site constraints.
2. Blocks shall typically be two lots deep with the exception of blocks containing open space. Blocks may also include an alley.
3. Blocks shall typically be fronted with lots on at least two faces, preferably on the longest street faces.
4. For increased energy efficiency, block orientation shall be along an east-west longitudinal axis to the maximum extent feasible. For long, central corridor buildings, this block orientation will encourage development of buildings oriented along an east-west axis, with smaller east and west facing facades, resulting in taking advantage of passive solar design.

## c. Maximum Block Size.

Block sizes shall meet the requirements for each Community Type. A network of streets as described in the, Street Types section, are required to meet the maximum block size requirements. Deviations may be permitted where connections cannot be made because of physical obstacles, such as wetlands and water bodies, railroad and existing highway rights-of-way.

Figure B1

 BLOCK PERIMETER (MAX. 1,800 LF)



## Indigo Lakes Village PUD: General Standards

The following text, tables, and graphics outline general standards within the Indigo Lakes PUD.

### **Section 4: Consistent with Comprehensive Plan.**

That the herein described PUD is consistent with the Comprehensive Plan of the City of Groveland, Florida.

### **Section 5: Official Zoning Map.**

That the City Manager, or designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Groveland, Florida, to include said designation.

### **Section 6: Severability.**

That if any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

### **Section 7: Conflict.**

That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

### **Section 8: Effective Date.**

This Ordinance shall become effective immediately upon its approval and adoption by the City Council.

**PARCEL 1:**

**THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, LYING SOUTHEASTERLY OF C.R. 565, IN SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.**

**ALSO**

**THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 IN SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.**

**TRACTS 53 AND 54, GROVELAND FARMS, SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, RECORDED IN PLAT BOOK 2, PAGES 10 AND 11, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.**

**PARCEL 2:**

**TRACTS 59 AND 60, IN SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, IN GROVELAND FARMS, RECORDED IN PLAT BOOK 2, PAGES 10 AND 11, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.**

**PARCEL 3:**

**PARCEL A: THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.**

**PARCEL B: THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.**

**PARCEL C: THE WEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.**

**PARCEL D: THE SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHEAST 1/4, EAST OF ROAD, SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.**

**PARCEL E: THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 EAST OF ROAD, SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.**

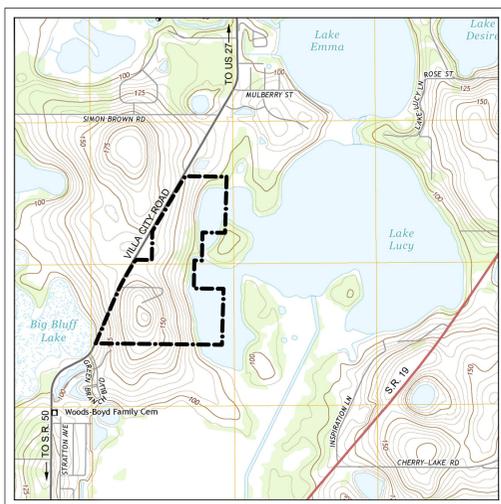
**PARCEL F: ALL OF TRACTS 35, 45 AND 46, LYING EAST OF C.R. ROAD 565, AND THAT PART OF THE EAST 297 FEET OF TRACT 36, LYING EAST OF C.R. ROAD 56,5 ALL LYING AND BEING IN SECTION 1, TOWNSHIP 22 SOUTH, RANGE 24 EAST, GROVELAND FARMS, RECORDED IN PLAT BOOK 2, PAGES 10 AND 11, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.**

- **THE ABOVE DESCRIBED PARCELS CONTAIN 162.756 ACRES MORE OR LESS. OF THAT 116.947 ACRES UPLAND AND 45.809 ACRES WETLAND.**

# EXHIBIT B

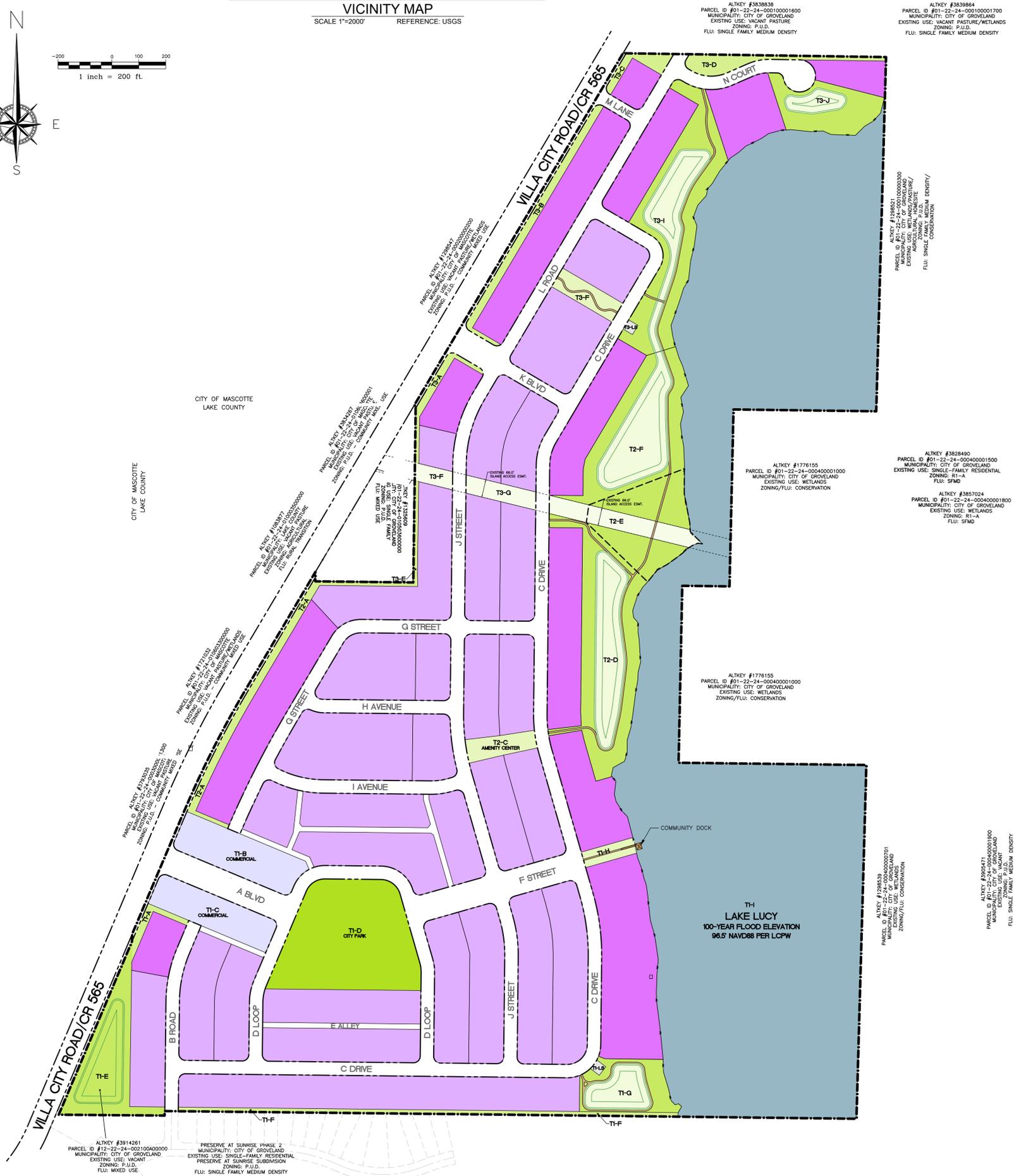
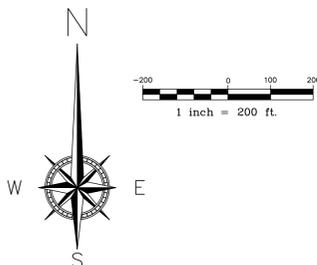
## LEGEND

-  PROPERTY BOUNDARY
-  RIGHT-OF-WAY LINE
-  ROADWAY CENTER LINE
-  WETLAND LINE
-  100-YR FLOOD LINE
-  LANDSCAPE BUFFER ESMT.
-  RECREATION TRAIL



VICINITY MAP  
SCALE 1"=2000' REFERENCE: USGS

REGULATING ZONES		
CORE	CENTER	EDGE



# EXHIBIT C

**LEGEND**

- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- ROADWAY CENTER LINE
- WETLAND LINE
- 100-YR FLOOD LINE
- LANDSCAPE BUFFER ESMT.
- RECREATION TRAIL

**PROJECT CHARACTERISTICS**

PROJECT AREA: 7,177,243.61 SQ. FT.; 164.77 ACRES  
 UPLAND AREA: 5,181,672.59 SQ. FT.; 118.95 ACRES  
 WETLAND AREA: 1,995,571.02 SQ. FT.; 45.81 ACRES  
 100-YEAR FLOOD ZONE: INDICATED ON PLAN  
 MINIMUM OPEN SPACE: 32.95 ACRES (20.00% OF PROJECT AREA)  
 PROVIDED OPEN SPACE: 42.73 ACRES (5.93% OF BUILDABLE AREA)  
 MINIMUM COMMERCIAL AREA: 5.95 ACRES (5.00% OF BUILDABLE AREA)  
 PROVIDED COMMERCIAL AREA: 7.28 ACRES (6.12% OF BUILDABLE AREA)  
 NET DENSITY MAXIMUM REQUIRED: 4 D.U./ACRE  
 NET DENSITY MAXIMUM PROPOSED: 3.65 D.U./ACRE; 434 LOTS  
 TOTAL LENGTH OF PROPOSED TRAIL: ±7,000 LF

MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT/VACANT RESIDENTIAL/WETLANDS  
 EXISTING ZONING: P.U.D.  
 EXISTING FLU: MIXED USE

ALTYKEY #'S 1083567, 1083541, 3743351, 1083559, 3743318, 1038758, 1017165, 1098599, 1098602

PARCEL ID #'S 01-22-24-000100000202  
 01-22-24-000100000201  
 01-22-24-010503500001  
 01-22-24-000400000800  
 01-22-24-000400000900  
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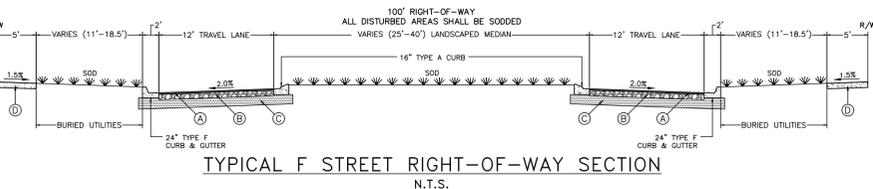
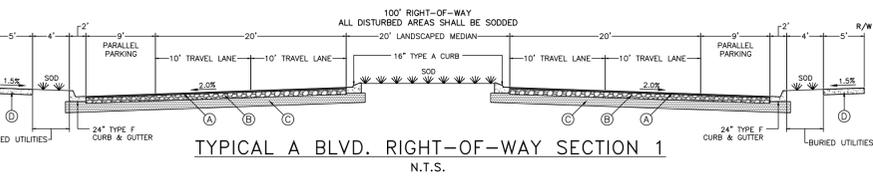
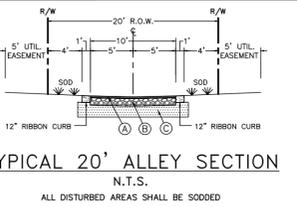
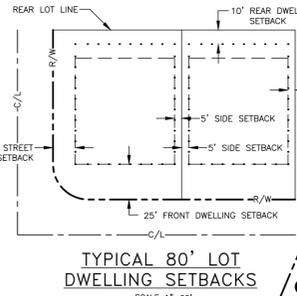
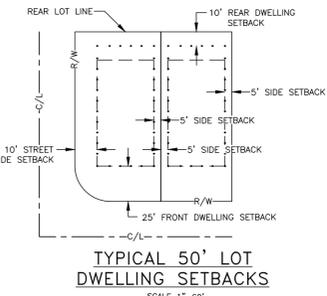
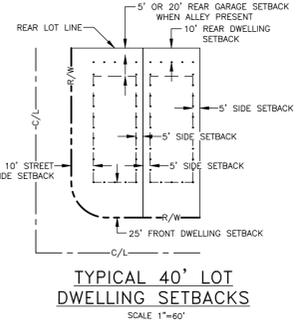
**AREAS BY LAND USE**

LAND USE	AREA (ACRES)
AMENITY CENTER	0.45
LANDSCAPE BUFFERS	3.55
CITY PARK	4.31
DRY RETENTION	17.40
WETLANDS	45.81
MISC. OPEN SPACE	0.76
RIGHT-OF-WAY	22.14
RESIDENTIAL LOTS	65.85
COMMERCIAL AREA	2.97
EXISTING 66' ACCESS ESMT.	1.46
PUBLIC FACILITIES (L.S.)	0.07
TOTAL	164.77

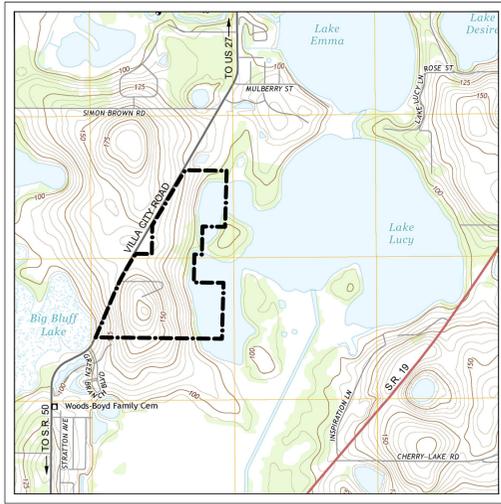
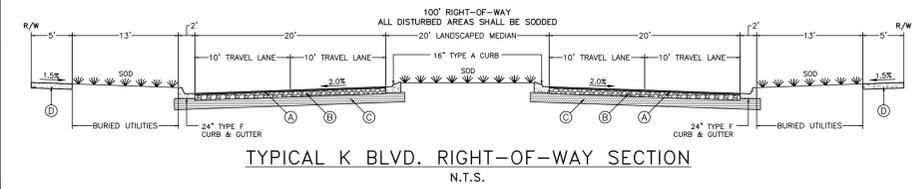
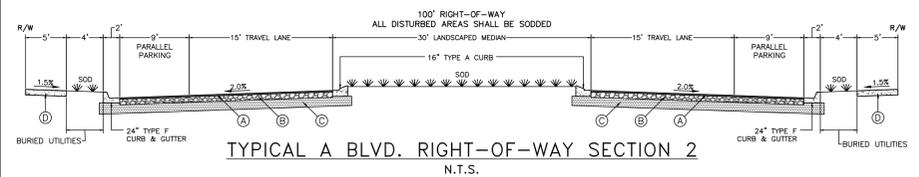
**OPEN SPACE TOTALS BY LAND USE**

LAND USE	AREA (ACRES)	TRACTS INCLUDED
AMENITY CENTER	0.45	T2-C
LANDSCAPE BUFFERS	3.55	T1-A, T1-F, T2-A, T3-A, T3-B, T3-C, T3-D
CITY PARK	4.30	T1-D
DRY RETENTION	17.40	T1-E, T1-G, T2-D, T2-F, T3-I, T3-J
WETLANDS	45.81	T1-K
MISC. OPEN SPACE	0.76	T1-H, T3-H
TOTAL	42.73	

- PURSUANT TO CITY OF GROVELAND COMPREHENSIVE PLAN, CHAPTER 6, POLICY 1.5.2, UP TO 50% OF THE OPEN SPACE REQUIREMENT MAY BE MET WITH WETLANDS.
- INCLUDES 0.70 ACRES OF R.O.W. DEDICATED TO LAKE COUNTY.
- INCLUDED IN COMMERCIAL AREA REQUIREMENT

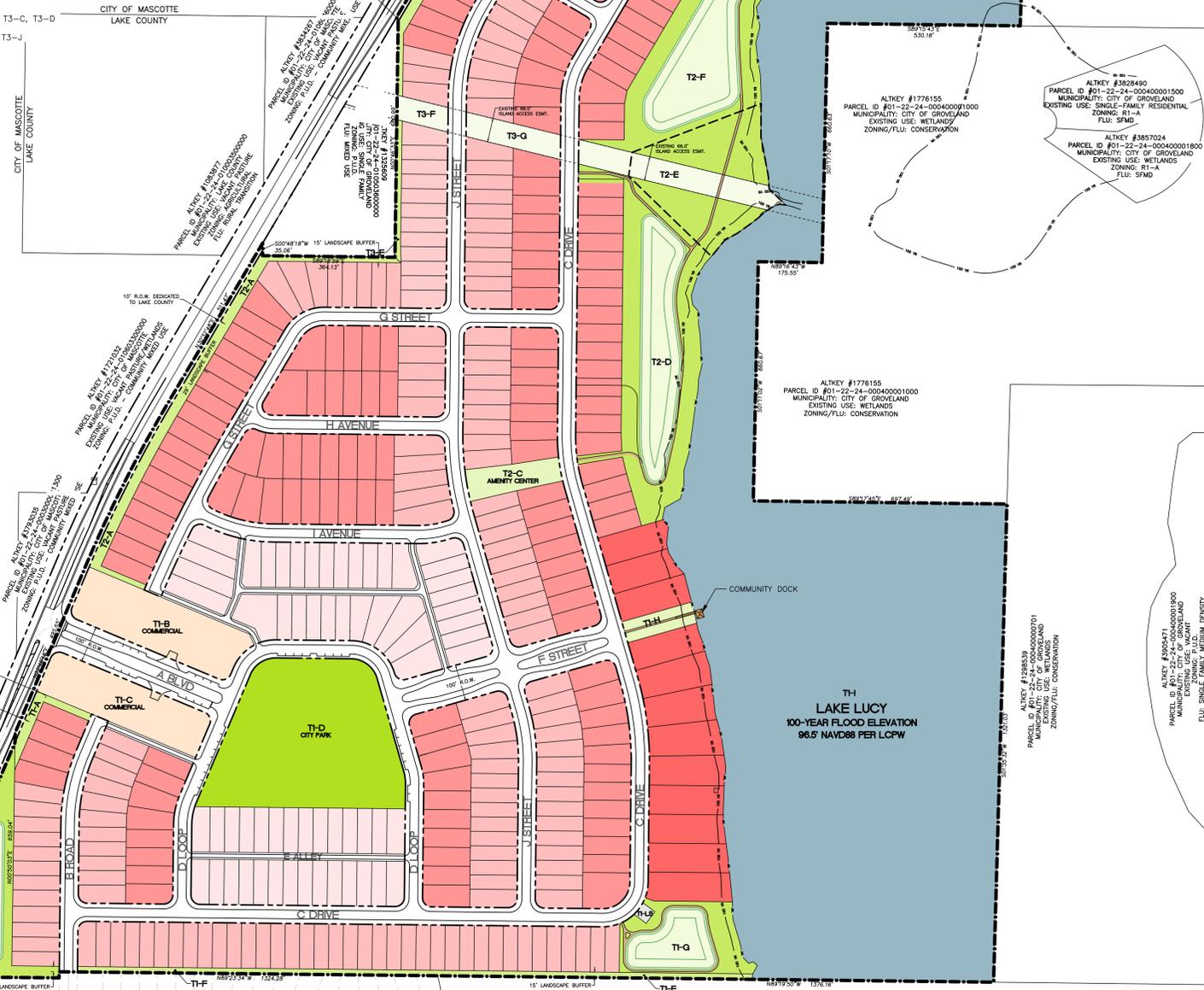


- CROSS-SECTION REFERENCES**
- (A) TYPE "S" ASPHALTIC CONCRETE 1-1/2" THICKNESS
  - (B) 8" UNIFORM BASE COMPACTED TO 98% OF MAX DRY DENSITY AS DETERMINED BY AASHTO T-180, MINIMUM AVG. LBR=100
  - (C) 12" STABILIZED SUBGRADE COMPACTED TO 98% MAX. DRY DENSITY AS DETERMINED BY AASHTO T-180, MINIMUM LBR=40
  - (D) 5' WIDE x 4" DEEP 3,000 PSI CONCRETE SIDEWALK



**LOT TOTALS**

LOT WIDTH	40' (ALLEY LOADED)	40' (FRONT LOADED)	50'	80'	TOTAL
# OF LOTS	61	160	197	16	434



ALTYKEY #3914261  
 PARCEL ID #12-22-24-000100000000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: MIXED USE

PRESERVE AT SUNRISE PHASE 2  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 PRESERVE AT SUNRISE SUBDIVISION  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #1776155  
 PARCEL ID #01-22-24-000400001000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: WETLANDS  
 ZONING: P.U.D.  
 FLU: CONSERVATION

ALTYKEY #3928450  
 PARCEL ID #01-22-24-000400001500  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: SINGLE-FAMILY RESIDENTIAL  
 ZONING: R1-A  
 FLU: SFMD

ALTYKEY #3857024  
 PARCEL ID #01-22-24-000400001800  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: WETLANDS  
 ZONING: R1-A  
 FLU: SFMD

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400001900  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002100  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002200  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002300  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002400  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002500  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002600  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002700  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002800  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400002900  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003100  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003200  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003300  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003400  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003500  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003600  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003700  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003800  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400003900  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004100  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004200  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004300  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004400  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004500  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004600  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004700  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004800  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400004900  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005100  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005200  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005300  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005400  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005500  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005600  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005700  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005800  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400005900  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006100  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006200  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006300  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006400  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006500  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006600  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006700  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006800  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400006900  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007100  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007200  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007300  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007400  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007500  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007600  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007700  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007800  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400007900  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008100  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008200  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008300  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008400  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008500  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008600  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008700  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008800  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400008900  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009100  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009200  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009300  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009400  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009500  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009600  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009700  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009800  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400009900  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

ALTYKEY #390471  
 PARCEL ID #01-22-24-000400010000  
 MUNICIPALITY: CITY OF GROVELAND  
 EXISTING USE: VACANT  
 ZONING: P.U.D.  
 FLU: SINGLE FAMILY MEDIUM DENSITY

SHEET NUMBER 1	REGULATING DEVELOPMENT PLAN	INDIGO LAKES PUD	SECTION 01, TOWNSHIP 22S, RANGE 24E, LAKE COUNTY, FLORIDA DEVELOPER: SLC INDIGO LAKES, LLC 1133 LOUISIANA AVENUE, SUITE 101, WINTER PARK, FLORIDA 32789	Planning, Design, Permitting, Inspection 770 Almond Street, Suite B, Clermont, Florida 34711 Phone: (352) 394-8514 Certificate of Authorization No. 00029972	DATE	REVISION
					February 2020 THOMAS L. KNIGHT, P.E. FLORIDA REGISTRATION #1914	01-16-2020 01-17-2020 02-26-2020