

ORDINANCE 2003-07-34

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GROVELAND, COUNTY OF LAKE, STATE OF FLORIDA, RECLASSIFYING THE ZONING FROM R-3 CITY OF GROVELAND TO PUD CITY OF GROVELAND FOR THE HEREAFTER DESCRIBED LANDS WITHIN THE CITY OF GROVELAND, FLORIDA; OWNED BY CHARLES E. ALLISON AND VESNA F. ALLISON AND LOCATED AT SILVER EAGLE ROAD, GROVELAND, LAKE COUNTY, FLORIDA, PROVIDING FOR DIRECTIONS TO THE CITY MANAGER; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Groveland, Florida, as follows:

**Section 1: Purpose and Intent.**

That the zoning classification of the following described property, being situated in the City of Groveland, Florida, shall hereafter be designated as PUD as defined in the Groveland Land Development Regulations.

**LEGAL DESCRIPTION:**

The Southeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  and the Northeast  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of Section 9, Township 22 South, Range 25 East, Lake County, Florida. AND Tracts 3, 4, 5, 9, 10, 12, 13, 14, 21, 22, 27, 28 and Tracts 33 through 38, inclusive, and Tracts 43 through 64, inclusive, all in Section 9, Township 22 South, Range 25 East, according to the plat of Groveland Farms, recorded in Plat Book 2, Pages 10 and 11, Public Records of Lake County, Florida; said tracts being equivalent to the South  $\frac{1}{2}$  of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$ , the West  $\frac{1}{2}$  of the Northwest  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$ , the Southwest  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$ , the Northeast  $\frac{1}{4}$  of the Northwest  $\frac{1}{4}$ , the Southeast  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$ , the West  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$ , and the Southwest  $\frac{1}{4}$  of said Section 9. AND Tracts 3, 4 and 14, lying Northwesterly of the right-of-way of Slab Church Road, and all of Tracts 5, 6, 7, 10, 11 and 12, in Section 16, Township 22 South, Range 25 East, according to the plat of Groveland Farms, recorded in Plat Book 2, Pages 10 and 11, Public Records of Lake County, Florida; said tracts being equivalent to the West  $\frac{1}{2}$  of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$ , the Northwest  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  and that part of the Northeast  $\frac{1}{4}$  of the Northwest  $\frac{1}{4}$  lying Northwesterly of the right-of-way of Slab Church Road of said Section 16.

**Section 2: Zoning Classification.**

That the property being so designated as PUD is subject to the following terms and conditions:

REVISED IMPROVISED TO  
ON PAGE 3.

BRADLEY SMITH

  
02/26/2019

**General**

Development of this Project shall be governed by the contents of this document and applicable sections of the City of Groveland Land Development Regulations and Code of Ordinances and all other applicable rules, regulations and ordinances of the City.

Where in conflict, the terms of this document shall take precedence over the City of Groveland Land Development Regulations and Code of Ordinances, and all other applicable rules, regulations and ordinances of the City.

Unless otherwise notes, the definition of all terms shall be the same as the definitions set forth in the City of Groveland Land Development Regulations.

**Purpose**

The purpose of this PUD is to:

1. Create an attractive and high quality environment which is compatible with the scale and character of the local environment; and
2. Develop a residential area that is safe, comfortable and attractive to pedestrians.
3. Create a community with direct visual and physical access to open land, with amenities in the form of community open space, and with a strong community identity;
4. Provide a network of open space provision;
5. Provide for a diversity of lot sizes and housing choices to accommodate a variety of age and income groups, and residential preferences, so that the City's population diversity may be maintained;

**Land Uses**

The Concept Plan for the Project is attached hereto as Exhibit "A" and is an integral part of this PUD document. Elements in the Concept Plan include single-family detached homes, villas, townhomes and recreation. The approximate acreage devoted to each land use shall be as follows:

Residential:	215 acres
Recreation:	5 acres
Open space (including wetlands & lakes):	346 acres

**Residential**

The development may have a maximum of 800 dwelling units. These may comprise single family detached homes, attached villas or townhomes. Villas or townhomes shall not comprise more than 25% of the total dwelling units.

**Setbacks**

The following setbacks shall be applied to single family dwelling units, villas and townhomes:

Front:	20 feet
	15 feet if dwelling has covered front porch
Side:	5 feet

Rear: 10 feet  
Street side: 10 feet

Zero Lot Line

Zero Lot Line development will be permitted on the Project site. Along any Zero Lot Line yard, the wall of any dwelling unit shall be constructed without doors. Easements shall be placed on the lot abutting any Zero Lot Line yard to permit access for maintenance, construction, drainage and other purposes for the benefit of the Zero Lot Line. Examples of Zero Lot Line standards are shown on the attached Exhibit B.

Setbacks

Front: 20 feet  
15 feet if dwelling has covered front porch  
Side: 0 feet  
Rear: 10 feet  
Minimum Building Separation: 10 feet

Lot Size

A range of lot sizes shall be provided in order to create variety and offer opportunity for different income households. There is no minimum lot size.

Dwelling Size

The minimum dwelling size for all single family residences shall be 1,500 square feet of heated/air conditioned space under roof, exclusive of garage, carports and porches.

The minimum dwelling size for all villas/townhomes shall be 1,000 square feet of heated/air conditioned space under roof, exclusive of garage.

The maximum number of home sites should provide views of and access to adjoining open space.

Lot Width

In accordance with the principle of providing diversity within the development a variety of lot widths shall be permitted in the range of 50-100 feet. The minimum lot width at building line shall be 50 feet with a minimum street frontage of 20 feet.

Lot Coverage

Lots 6,000 square feet or smaller shall have a maximum lot coverage of 60% to include principal dwelling, all paved areas and swimming pools. Lots greater than 6,000 square feet shall have a maximum lot coverage of 50% to include principal dwelling, all paved areas and swimming pools.

67%

67%

Height of Structures

No residential structure shall exceed 2½ stories or 35 feet in height.

*B Smith*  
02/26/2019

The Owner/Developer shall adopt deed restrictions which prohibit manufactured or otherwise prefabricated homes.

#### Building Design

The following principles seek to promote a high quality development that will create a sense of place and community through the development of the site. These design principles are illustrated in Exhibit D.

- A diversity of housing styles, shapes and materials will be encouraged in order to create variety in the streetscape.
- The different housing types shall be integrated architecturally in order to give the development a harmonious appearance.
- Exterior wall materials may include stucco, wood clapboarding (including vinyl or aluminum imitation clapboard siding, or brick of a shape, color and texture similar to that found in the City.
- The creation of visual richness should be considered when choosing materials and details. Local characteristics are encouraged.
- The use of front porches and side entrances for garages are encouraged.
- A variety of roof heights, pitches and materials will be encouraged.
- Landscaping should be incorporated into the overall design as a means of linking the development areas with the open spaces.

#### Recreation and Open Space

A minimum of 5 acres shall be provided for recreation areas. This will comprise one main area and 2 tot lots in the approximate locations indicated on the Concept Plan. Activities within the main area shall be a children's playground and other amenities to be agreed in discussion with the City Council. It is the intent of the parties that the developer will donate the main recreation area to the city for use as a city park.

In addition to the recreation areas, open space will be provided within the development site. This open space shall include, but not be limited to, lakes, preserved wetlands, project buffer areas, draining areas, retention areas, and landscaped areas and pedestrian/cycle trails.

#### Boat Docks

Subject to County, State and/or Federal guidelines, up to two single lane boat ramps and fishing piers may be permitted.

#### Pedestrian/Bicycle/Multi-purpose Trail

A pedestrian/bicycle/multi-purpose trail shall be provided throughout the open space system to provide access to adjoining development and to the recreation areas. Where this is separate from the sidewalk, it may be constructed of a pervious material.

### Waterfront and Wetlands Buffer Requirement

No development shall be allowed within jurisdictional wetlands on the property. All development except passive recreation as defined in Policy 5-1.6.4 of the Comprehensive Plan shall maintain a fifty foot (50') setback from any shoreline or wetland.

### Phasing

The Project may be constructed in phases. Each phase shall be developed in conformance with this ordinance and no individual phase may exceed the densities or intensities projected in the Concept Plan.

### Public Facilities

#### Potable Water and Wastewater

The Project shall be connected to the City Potable Water system and the City Sanitary Sewer system, prior to any Certificate of Occupancy being issued for any structure (except temporary construction uses) on the Project. Expansion of the City Potable Water and Sanitary Sewer systems shall be negotiated by separate Utility Agreement between the City and the Owner/Developer. Such Utility Agreement may include prepayment of impact fees to aid expansion of facilities, reimbursement of offsite costs paid by the Owner/Developer by impact fee credits and/or cash reimbursement at the time of interconnections, if any and the installation of reuse lines for irrigation. Irrigation of individual lots and common areas within the Project may be connected to an on-site irrigation well or wells.

#### Solid Waste

Solid Waste collection shall be pursuant to City regulations, as amended.

#### Drainage

The maintenance of the drainage system shall be the responsibility of the Homeowners Association(s).

#### Transportation

There shall be a maximum of two (2) ingress and egress points for the Project. These shall be in the approximate locations shown on the Concept Plan. The primary access to the site shall be from Silver Eagle Road. The existing unpaved road which is located at the western edge of the site shall be closed and a new road constructed through the site. This principle road shall link through to the island at the northern end of the site and to the adjacent property to the east. The principle road shall have a sixty foot (60') right-of-way with a 24 foot pavement. All other streets other than the principle road shall have a fifty foot (50') right-of-way with a minimum 20 foot pavement width. Provision shall be made for underground utilities.

#### Street and Sidewalks

The development shall have a connected street system that serves vehicles, pedestrians and bicycles which connects to recreation facilities and adjacent residential/community

areas. A minimum of a five foot (5') sidewalk shall be constructed along both sides of all streets.

Streets shall be interconnected as far as practicable, employing cul-de-sacs only where essential. Where cul-de-sacs are deemed to be unavoidable, continuous pedestrian circulation shall be provided for by connecting sidewalks that link the end of the cul-de-sac with the next street (or open space). A typical street layout is illustrated at Exhibit C.

Shade trees shall be planted within the right-of-way of all streets. Such trees shall be spaced at intervals no greater than fifty feet along both sides of each street and the species shall comply with the City's Landscape Regulations for trees in the right-of-way.

All streets shall be constructed to the City of Groveland standards.

#### **Transportation Improvements**

The owner/developer shall fund the construction of improvements to Silver Eagle Road and the junction of Silver Eagle Road with C.R. 565A as per requirements of Lake County Public Works. These improvements shall be constructed when deemed warranted by the appropriate government agency.

#### **Landscaping Requirements**

All landscaping shall be in accordance with the City's Land Development Regulations with the exception of the southern boundary where a minimum of a fifty foot (50') landscape buffer shall be placed between the new development and the existing residential dwellings to the south of the site.

#### **Lighting**

Street lighting shall be installed at every intersection, at the end of each cul-de-sac and at intervals of approximately 300 feet. Street lighting shall be installed by the Owner/Developer. This may be provided by individual decorative yard lamps so long as those lamps are illuminated by bulbs of at least 60 watts and are no more than 100 feet apart.

#### **Utilities**

All utilities shall be underground.

#### **Signage**

All signage on the Property shall be ground signage and shall comply with the City Land Development Regulations.

#### **Maintenance of Common Areas**

Maintenance of all common areas within the residential component of the Project shall be the responsibility of the Homeowner's Association(s) formed to govern such subdivision.

#### **Educational Facilities Benefit District**

The establishment of an Education Facilities Benefit District shall be the subject of a separate Agreement between the City and the Owner/Developer. This will assist in financing the construction and maintenance of educational facilities in the City.

**City of Groveland Community Redevelopment Area**

A voluntary contribution of \$100 per home will be sought from the developer/builder towards improvements to the Groveland Community Redevelopment Area. This money shall be held by the Community Redevelopment Trust Fund and will be used towards the development and/or implementation of the Community Redevelopment Plan.

**Impact Fees**

The Owner/Developer acknowledges that the City of Groveland has impact fees for water, wastewater, fire, police and recreation, and that the Project shall be subject to such impact fees. The provision of on-site adult recreation facilities may be credited towards the recreation impact fee requirement.

**Amendments**

Any substantial deviation from the PUD Concept Plan, or deviation from the terms of this Ordinance, shall be approved by the City Council in accordance with the legal procedures to amend zoning ordinances.

**Section 3: Consistent with Comprehensive Plan.**

That the zoning classification is consistent with the Comprehensive Plan of the City of Groveland, Florida.

**Section 4: Official Zoning Map.**

That the City Manager, or designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Groveland, Florida, to include said designation.

**Section 5: Severability.**

That if any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

**Section 6: Conflict.**

That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section 7: Effective Date.**


This Ordinance shall become effective immediately upon its approval and adoption by the City Council.

PASSED AND ORDAINED in regular session of the City Council of the City of Groveland, Lake County, Florida, this 21st day of July, 2003.



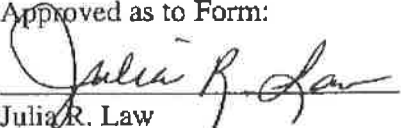
HONORABLE CONNIE FLEETWOOD, MAYOR  
City of Groveland Florida

ATTEST:

  
\_\_\_\_\_  
Jason L. Yarborough  
City Manager

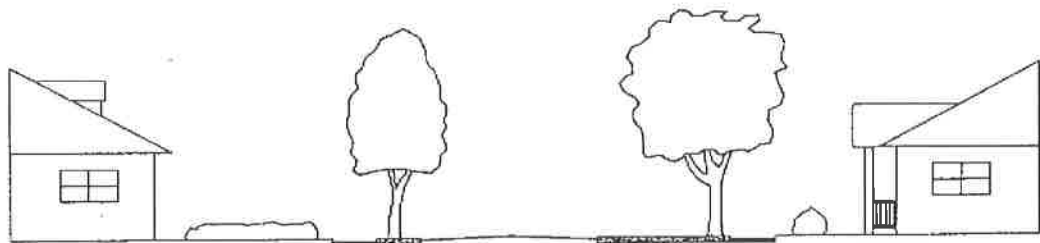
(SEAL)

Approved as to Form:

  
\_\_\_\_\_  
Julia R. Law  
City Attorney

Passed First Reading 07/07/03  
Passed Second Reading 07/21/03





20' SETBACK WITH CUT PORCH

10' SETBACK WITH PORCH

PROPERTY LINE

5' SIDEWALK

5' LANDSCAPE BUFFER

20' PAVEMENT

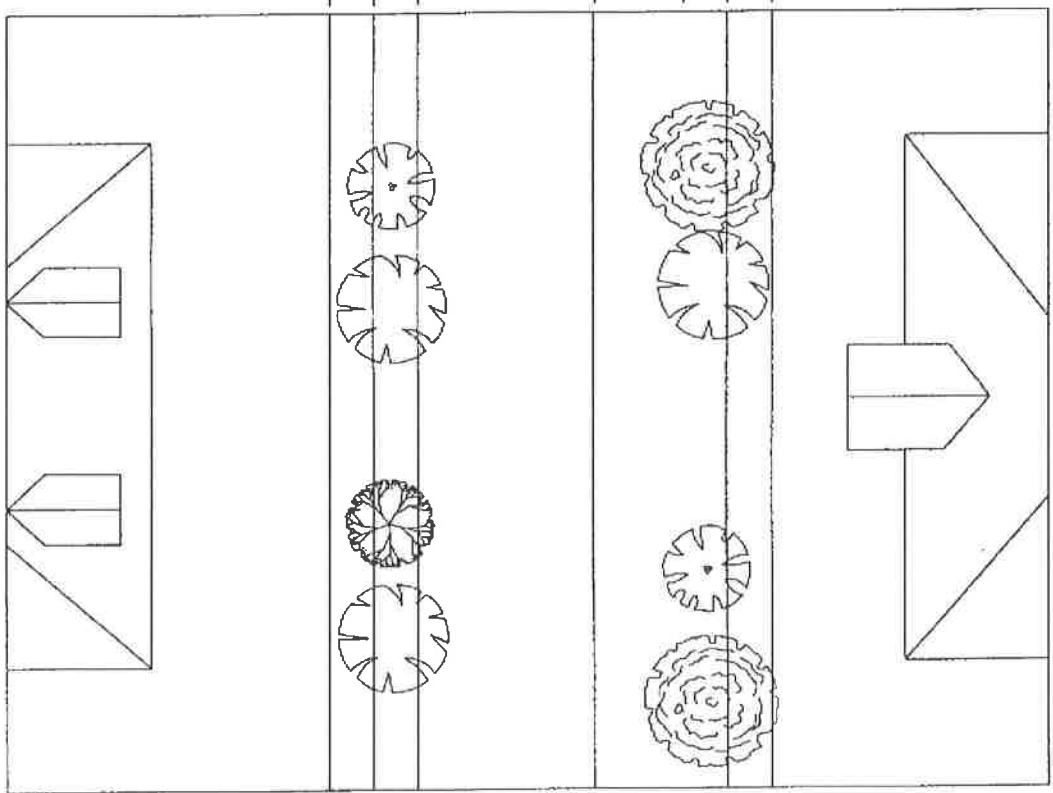
10' UTILITY EASEMENT

5' LANDSCAPE BUFFER

5' SIDEWALK

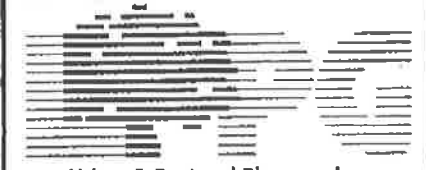
PROPERTY LINE

PROPOSED 50' ROW



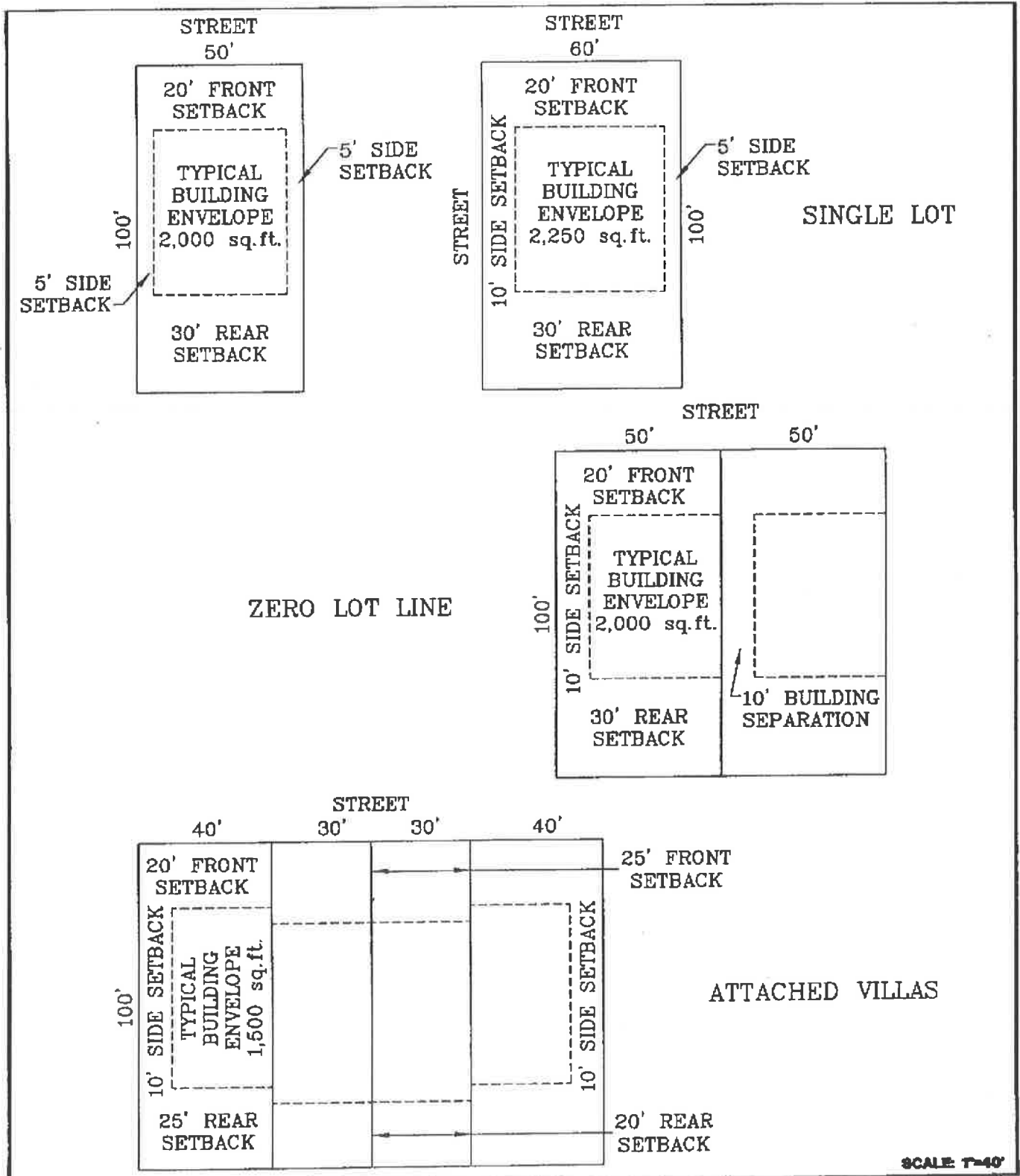
SCALE: 1"=20'

**CITY OF GROVELAND  
TYPICAL ROAD CROSS SECTION  
AND DETAIL  
EXHIBIT C**



**Urban & Regional Planners, Inc.**  
2001 OLD U.S. HIGHWAY 441, MT. DORA, FL 32767  
(352)363-1444/FAX (352)383-3677/LPC1@707CON.COM

FILE#: 50702-2005    DATE: 7/1/2003    REVISED:    DRAWN: DLL



**CITY OF GROVELAND  
LAKE COUNTY, FLORIDA  
EXHIBIT B  
TYPICAL LOT LAYOUTS**



Urban & Regional Planners, Inc.

2001 OLD U.S. HIGHWAY 441, MT. DORA, FL 32787  
(352)383-1444/FAX (352)383-3877/LPG1@TODCOR.COM

FILE#: 60702-2003

DATE: 7/3/02

REVISED:

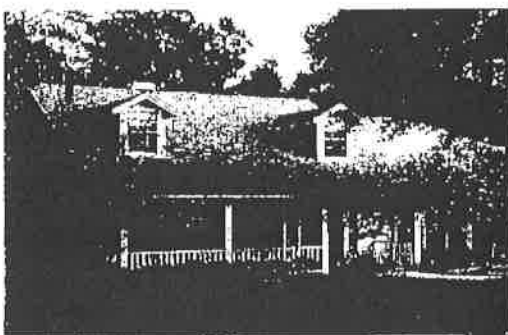
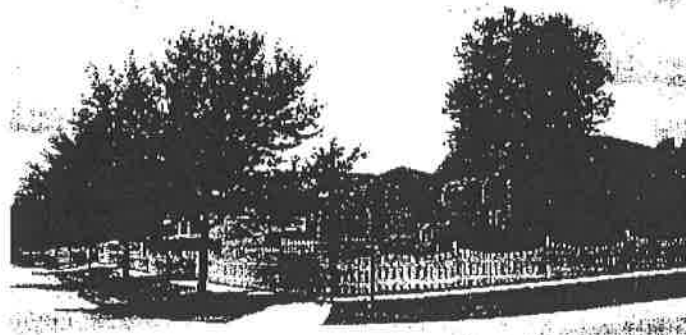
DRAWN: NTL

## DESIGN PRINCIPLES

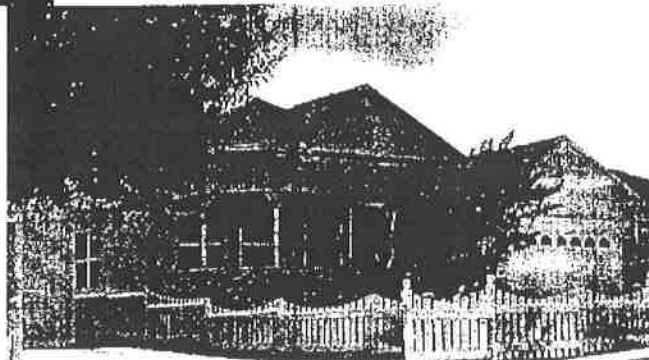


Tree lined streets provide shade for pedestrians and improve appearance of street.

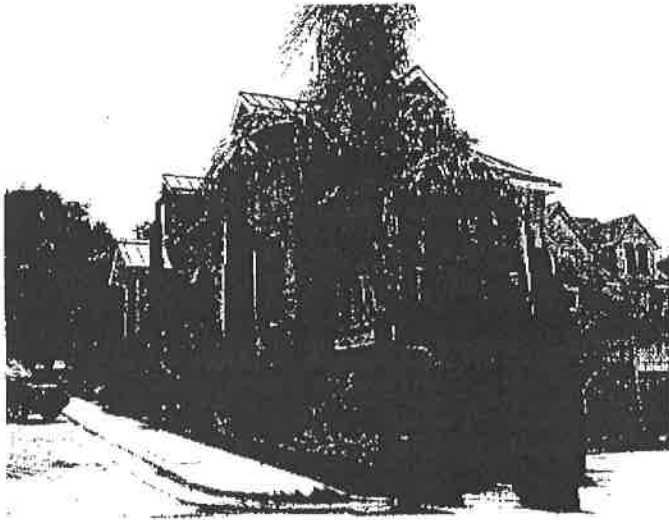
Diversity of building styles improves character of development.



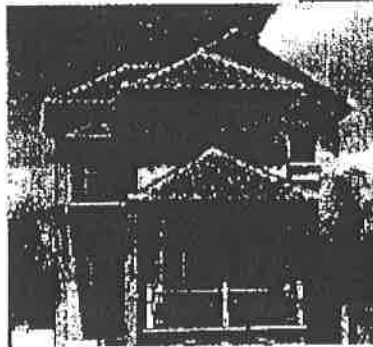
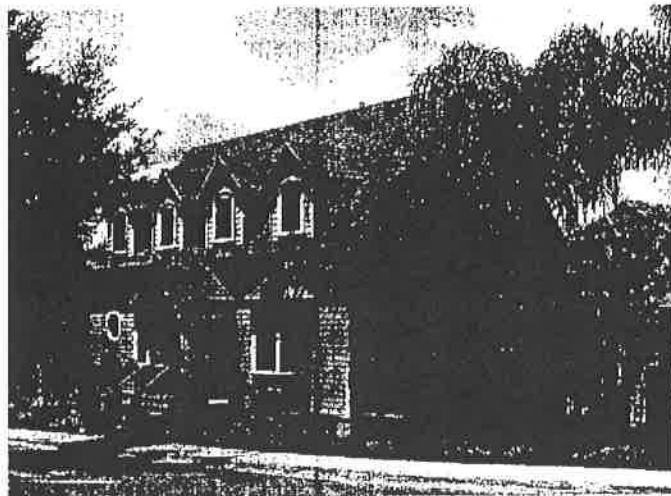
Reduced setback requirement for houses with front porches



## DESIGN PRINCIPLES



Site's topography should be used in house design to maximize views of open space and lakes.



Variety in roof heights and styles add interest to streetscape.



## CITY OF GROVELAND

**STAFF REPORT:** CHARLES E. AND VESNA F. ALLISON (507/02/40)  
REZONING

**General Location:** Silver Eagle Road

**Number of Acres:** 566 +/- acres

**Current Zoning:** R-3 (City of Groveland)

**Future Land Use:** Single Family Medium Density and Conservation

### Description of Project

The applicant is requesting that the site be rezoned from R-3 to PUD. The site is located at the north-eastern edge of the City. It comprises a peninsular of land extending northwards from South Lake High School. To the west and east lie wetlands, with Cherry Lake to the north. Approximately 346 acres of the site is wetland or water, with the uplands being laid to semi-mature pine plantation.

This property was annexed into the City at the end of 2001 and given an R-3 zoning district. The applicant is wishing the rezoning in order to provide more flexibility in the size of lots, lot coverage and setbacks. There is no change proposed to the overall density.

### PUD Proposal

It is intended that the development will incorporate the following elements:

- Residential
- Recreation
- Open Space
- Utility
- Conservation

A concept plan is attached to the PUD Ordinance. This, together with the Ordinance, illustrates the basic principles for the site. Included within the PUD is approximately 346 acres of conservation open space. In addition to this conservation open space, a minimum of a 50 foot landscape buffer is provided along the southern edge of the site adjacent to existing residential development in Lake County. A total of three recreation areas are provided. These include a 5 acre park close to the entrance to the development and two smaller tot lots located within the residential areas. It is intended that the 5 acre park will be deeded to the City and be developed and maintained as a general city park.

In accordance with the City's general requirements, a main road is provided through the site with the potential to connect to the property which lies to the east. Silver Eagle Road

will be upgraded to meet the requirements of Lake County Public Works. Sidewalks will be provided as per City requirements, and a pedestrian link is provided at the south-west corner of the site for access to the adjacent high school.

Also included within the PUD ordinance are details such as minimum dwelling sizes, lot coverage, landscaping and street lighting. It is intended that these guidelines will encourage a good development for the city.

The PUD indicates a well site on the property. This is dealt with in more detail in the associated proposed Development Agreement. The Development Agreement relates specifically to the provision of City water and sewer, the transfer of land for the park and the well site.

#### **Impacts**

The impacts of the proposal are no greater than were assumed at the time of annexation and original zoning. Development will be required to connect to City water and central sewer. In summary, the City has or can provide sufficient capacity in respect of water, sewer and road infrastructure to accommodate the development of this site.

#### **Surrounding Zonings**

East: Agriculture (City of Groveland) & Agriculture (Lake County)  
North: Agriculture & R-2 (Lake County)  
West: R-3 (City of Groveland) & Agriculture (Lake County)  
South: R-3 (City of Groveland) & CFD & Agriculture (Lake County)

#### **Surrounding Future Land Use Designations**

East: Conservation (City of Groveland) & Rural (Lake County)  
North: Rural (Lake County)  
West: Single Family Medium Density (City of Groveland) & Rural (Lake County)  
South: Single Family Medium Density (City of Groveland) & Suburban (Lake County)

#### **Staff Recommendation**

The proposed zoning is in accordance with the proposed Future Land Use and the principles of the City's Comprehensive Plan and Land Development Regulations. Staff recommends approval.

# CONCEPTUAL PLAN

# 4

350 0 350 700 Feet

## LEGEND

PROJECT BOUNDARY (563.5 AC.±)

- 50' Right of Way
- 60' Right of Way
- Lakes/Ditch/River
- Lots
- Open Space
- Parks
- School Access Path
- Well Site
- Wetlands

